

Development Control B Committee Agenda



Date: Wednesday, 18 December 2019

Time: 1.00 pm

Venue: Council Chamber, City Hall, College Green,
BRISTOL, BS1 5TR

Distribution:

Councillors: Lesley Alexander, Nicola Bowden-Jones, Harriet Bradley, Tom Brook (Chair), Mike Davies, Carla Denyer (Apologies), Richard Eddy (Vice-Chair) (Apologies), Fi Hance (Apologies), Sultan Khan, Olly Mead, Celia Phipps, Jo Sergeant, Steve Smith (for Cllr Eddy) and Clive Stevens (for Cllr Denyer)

Copies to: Claudette Campbell (Democratic Services Officer), Gary Collins and Laurence Fallon

Issued by: Claudette Campbell, Democratic Services

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E-mail: democratic.services@bristol.gov.uk

Date: Tuesday, 10 December 2019



Agenda

1. Welcome, Introduction and Safety Information

2.00 pm

(Pages 4 - 5)

2. Apologies for Absence

3. Declarations of Interest

To note any interests relevant to the consideration of items on the agenda.

Any declarations of interest made at the meeting which are not on the register of interests should be notified to the Monitoring Officer for inclusion.

4. Minutes of the previous meeting

To agree the minutes of the last meeting as a correct record.

(Pages 6 - 9)

5. Appeals

To note appeals lodged, imminent public inquiries and appeals awaiting decision.

(Pages 10 - 16)

6. Enforcement

To note enforcement notices.

(Page 17)



7. Public forum

Any member of the public or councillor may participate in public forum. The detailed arrangements for so doing are set out in the Public Information Sheet at the back of this agenda. Please note that the following deadlines will apply in relation to this meeting:

(Pages 18 - 19)

Questions:

Written questions must be received three clear working days prior to the meeting. For this meeting, this means that your question(s) must be received at the latest by 5pm on Thursday 12th December 2019.

Petitions and statements:

Petitions and statements must be received by noon on the working day prior to the meeting. For this meeting, this means that your submission must be received at the latest by 12.00 noon on Tuesday 17th December 2019

The statement should be addressed to the Service Director, Legal Services, c/o The Democratic Services Team, City Hall, 3rd Floor Deanery Wing, College Green, P O Box 3176, Bristol, BS3 9FS or email - democratic.services@bristol.gov.uk

8. Planning and Development

To consider the following applications for Development Control Committee B -

(Pages 20 - 21)

a) **19/04331/F Old Building Bristol Royal Infirmary
Marlborough Street City Centre Bristol BS2 8HW**

(Pages 22 - 68)

b) **19/01690/F Kingsdown House & 1-3 Units Unity Street St
Philips Bristol BS2 0HN**

(Pages 69 - 127)

9. **19/05160/H 26 Cranham Road Bristol BS10 5EF**

(Pages 128 - 151)

10. Date of Next Meeting

12th February 2020 at 6.00 pm.



Public Information Sheet

Inspection of Papers - Local Government
(Access to Information) Act 1985

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also be made available at the meeting to which it relates and placed in the official minute book as a public record (available from Democratic Services).

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Process during the meeting:

- Public Forum is normally one of the first items on the agenda, although statements and petitions that relate to specific items on the agenda may be taken just before the item concerned.
- There will be no debate on statements or petitions.
- The Chair will call each submission in turn. When you are invited to speak, please make sure that your presentation focuses on the key issues that you would like Members to consider. This will have the greatest impact.
- Your time allocation may have to be strictly limited if there are a lot of submissions. **This may be as short as one minute.**
- If there are a large number of submissions on one matter a representative may be requested to speak on the groups behalf.
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Bristol City Council Minutes of the Development Control B Committee

4 December 2019 at 6pm.



Members Present:-

Councillors: Tom Brook (Chair) Lesley Alexander, Harriet Bradley, Fabian Breckels, Sultan Khan, Fi Hance, Celia Phipps, Jo Sergeant, Clive Stevens.

Officers in Attendance:-

Gary Collins – Head of Development Management, Allison Taylor – Democratic Services

1. Welcome, Introductions and Safety Information.

The Chair welcomed all parties to the meeting and explained arrangements for emergency access in the event of a fire.

2. Apologies for absence.

These were received from Councillor Eddy, Councillor Denyer (Substitute Councillor Stevens), Councillor Davies (Substitute Councillor Phipps) and Councillor Mead (Substitute Councillor Breckels)

3. Declarations of Interest.

There were none.

4. Minutes of the last meeting.

The minutes were agreed as correct record of the meeting.

Resolved – that the Minutes be agreed as a correct record and signed by the Chair.



5. Appeals.

The Head of Development Management drew the Committee's attention to item 18 – 37, Wellington Hill and reported that the appeal against refusal was dismissed. He suggested that this was a clear signal from the Planning Inspectorate that the requirement to intensify housing was not to be at the expense of quality and character.

6. Enforcement.

It was noted that one enforcement notice had been served since the last meeting.

7. Public Forum.

Members of the Committee received Public Forum Statements in advance of the meeting.

The statements were heard before the application they related to and were taken fully into consideration by the Committee prior to reaching a decision.

8. Planning and Development.

The Committee considered the following Planning Application:

18/05823/F - Westbury Gardens Residential Home Falcondale Road.

An Amendment Sheet was provided to the Committee in advance of the meeting, detailing changes since the publication of the original report.

The details of the application were as follows:-

The following points arose from questions and discussion:-

1. The application was for the remodelling of an existing residential care home resulting in an increased number of bedrooms and overall improvement to the existing care home facilities;
2. There had been substantial public concern and officer concern regarding the impact on residential amenity on previous applications for this site and the current application had been substantially amended to reflect concerns;
3. There had been 3 rounds of consultation for the current application with the level of opposition being maintained at each round. The issues of concern being:



- Congestion and parking;
- Over-development;
- Noise nuisance;
- Loss of privacy and overlooking;
- Overbearing impact;
- Uncharacteristic and incongruous design.

4. The increase in massing at the Shipley Road end was fairly modest in comparison to the previous structure. The first floor terrace was reduced in size and ultimately removed, windows were removed on the first floor western elevation and the lightwell/fire escape in place of the terrace was also reduced in depth;

5. The application was policy compliant and officers recommended approval subject to conditions.

The following points arose from questions and discussion:-

1. Councillor Lesley Alexander suggested that a site visit would be worthwhile and asked whether car parking could be conditioned similarly to the cycle parking and she was informed that this was possible;
2. It was confirmed that there would be a net increase of 5 bedrooms added to the current 19 bedrooms (arranged as 14 bedrooms on the ground floor and 10 on the first floor). On the same complex was a nursing home which would be losing 15 bedrooms and there would be a net loss of 10 bedrooms and would be less pressure on car parking on site;
3. It was confirmed that where the residents would be rehoused during the building works was not a consideration for the Local Planning Authority (LPA);
4. Space standards only applied to Class C3 developments (self-contained dwellings) and this was not the case here. The quality and scale of the bedrooms was a matter for the Care Quality Commission (CQC) and not the LPA. Social Care within BCC had a relationship with the CQC and it was important to leave this matter to the regulator and that part of BCC. It was noted that the additional floor space on the first floor meant that the rooms were larger than before;
5. No proposals had yet been put forward by the developer regarding outside lighting;
6. The Head of Development Management stated in response to concerns raised in a Public Forum statement regarding the National Planning Policy Framework (NPPF) that BCC's design policies were relatively up to date but would be reviewed following revised NPPF guidance. The Local Plan policies allowed the LPA to require quality where it could influence how the building looked and in relation to the character of the area. There had been 5 versions of this development and it had been improved and scaled back. The process had been rigorous and had incorporated the LPA's good design policies which was why officers recommended it for approval;
7. The trees to be removed were of poor quality so there would be no requirement to compensate for their loss. The hedging surrounding the development would remain;
8. Councillor Bradley accepted the design and gave credit to the developer for not interfering with the site lines and views. The bedroom sizes were better than before and the additional space would benefit the residents and staff. There was no substantial harm and she would therefore support approval;



9. Councillor Breckels supported the principle of improvements to the quality of care homes and he noted the substantial improvements to this proposal compared to the previous one. He did not support the need for a site visit and would support approval of the application;
10. Councillor Hance understood the concerns of local residents but there were no material planning reasons to refuse it. She did not support a site visit;
11. Councillor Stevens stated that the aspects he did not like were not material planning matters so he would vote in support of approval;
12. Councillor Khan was minded to support approval;
13. Councillor Breckels moved the officer recommendation to approve with the addition of a condition concerning car parking and this was seconded and on being put to the vote it was:-

Resolved (Unanimous) – That the application be granted subject to conditions as set out in the report, the Amendment Sheet and an additional condition regarding car parking.

The meeting ended at 7pm.

CHAIR _____



DEVELOPMENT CONTROL COMMITTEE B

18th December 2019

REPORT OF THE DIRECTOR: DEVELOPMENT OF PLACE

LIST OF CURRENT APPEALS

Householder appeal

Item	Ward	Address, description and appeal type	Date lodged
1	Lockleaze	657 Muller Road Bristol BS5 6XS Proposed dropped kerb, removal of front wall and creation of parking area. Appeal against refusal Delegated decision	02/09/2019
2	Cotham	16 Clare Road Cotham Bristol BS6 5TB Demolition of existing rear extension and replacement with new rear and side extension, replacement of existing roof materials with natural slate and internal alterations to existing dwelling including addition of first floor bathroom window. Appeal against refusal Delegated decision	10/10/2019
3	Westbury-on-Trym & Henleaze	11 Reedley Road Bristol BS9 3SR Double storey and single storey rear extension and single storey front and side extensions. Resubmission. Appeal against refusal Delegated decision	04/11/2019
4	Avonmouth & Lawrence Weston	66 Portview Road Bristol BS11 9JU Erection of two storey and single storey side extension. Appeal against refusal Delegated decision	04/11/2019
5	Avonmouth & Lawrence Weston	13 Hallen Drive Bristol BS9 2NU Application for a two storey side extension. Appeal against refusal Delegated decision	07/11/2019

6	Westbury-on-Trym & Henleaze	84 Falcondale Road Bristol BS9 3JZ Demolition of side garage and proposed two storey side and single storey rear extension including X5 front and rear roof lights. Appeal against refusal Delegated decision	08/11/2019
7	Southville	28 Stackpool Road Bristol BS3 1NQ Loft conversion. Appeal against refusal Delegated decision	18/11/2019
8	Hengrove & Whitchurch Park	6 Greenacre Road Bristol BS14 0HL Single storey front extension. Appeal against refusal Delegated decision	19/11/2019
9	Bishopsworth	6 Gardner Avenue Bristol BS13 8BG Two storey side and rear extension. Appeal against refusal Delegated decision	21/11/2019
10	Stockwood	690 Wells Road Hengrove Bristol BS14 9HX Proposed dropped kerb and creation of parking, with access onto Wells Road. Appeal against refusal Delegated decision	26/11/2019

Informal hearing

Item	Ward	Address, description and appeal type	Date of hearing
11	Central	Trust Headquarters Marlborough Street City Centre Bristol BS2 8CC Outline planning application to consider Access and Scale (with Appearance, Landscaping and Layout reserved) for the demolition of all existing structures and the erection of a hospital transport hub, comprising a 400-space Cycle Centre, 820-space hospital-only car park, hospital bus drop-off point and associated works (Major). Appeal against refusal Committee	21/01/2020

Written representation

Item	Ward	Address, description and appeal type	Date lodged
12	Westbury-on-Trym & Henleaze	1 Whytes Close Bristol BS9 3HU Erection of 1 detached dwelling house. Appeal against refusal Delegated decision	07/08/2019
13	Eastville	435 Fishponds Road Fishponds Bristol BS16 3AP Roof extension to existing garage to create gym and games room for household use. Appeal against non-determination	07/08/2019
14	Southmead	533 Southmead Road Bristol BS10 5NG Erection of two storey building to provide a 1 bedroom dwelling unit. Appeal against refusal Delegated decision	21/08/2019
15	St George West	Land To The Rear 324 Church Road, And Of Flats 1-3, 2 Beaconsfield Road St George Bristol BS5 8AJ Proposed residential unit. Appeal against refusal Delegated decision	27/08/2019
16	Eastville	140 Fishponds Road Eastville Bristol BS5 6PT Enforcement appeal for development to create and turn flat roofed rear extension to outdoor amenity area. Appeal against an enforcement notice	20/09/2019
17	Ashley	Mary Seacole Court 110 Mina Road Bristol BS2 9TP Extension to existing block of flats: to erect two new storeys on top of existing two storeys split in to two levels (additional 9 units, 7 in a third storey & 2 in a fourth storey, set back from the edge of the building (Resubmission of application 18/05704/F). Appeal against refusal Delegated decision	11/10/2019
18	Hengrove & Whitchurch Park	22 Gilda Parade Bristol BS14 9HY Outline application for proposed block of two flats - Approval sought for Layout. Appeal against refusal Delegated decision	14/10/2019

19	Westbury-on-Trym & Henleaze	22 Devonshire Road Bristol BS6 7NJ Conversion of an existing HMO back to a single dwelling house plus a gate and shed to the garden. Appeal against refusal Delegated decision	14/10/2019
20	Stoke Bishop	22 Julian Road Bristol BS9 1LB Application for a Lawful Development Certificate for a Proposed use or development. Single storey rear extension. Appeal against refusal Delegated decision	22/10/2019
21	Clifton	7A Richmond Hill Avenue Bristol BS8 1BG Proposed demolition of existing side extension and replacement with a one and a half storey side extension, and various external alterations to the building new/altered openings. Appeal against refusal Delegated decision	23/10/2019
22	Clifton	7A Richmond Hill Avenue Bristol BS8 1BG Proposed demolition of existing side extension and replacement with a one and a half storey side extension, and various external alterations to the building new/altered openings. Appeal against refusal Delegated decision	23/10/2019
23	Filwood	3 St Whytes Road Bristol BS4 1RX New 2 bedroom dwelling with off street parking, bin store and cycle storage. Appeal against refusal Delegated decision	24/10/2019
24	Lawrence Hill	Land Rear Of Temple Trading Estate Cole Road Bristol Erection of a structure to support 2no. 12m wide x 3m high LED digital displays. Appeal against refusal Delegated decision	30/10/2019
25	Hillfields	30 Hillfields Avenue Bristol BS16 4JR Full Planning Permission (Re-submission) for the construction of a single two-bedroom house with vehicular parking, refuse store and cycle racks on land to the side of 30 Hillfields Avenue (Self Build) Appeal against refusal Delegated decision	01/11/2019

26	Clifton Down	34 Oakfield Grove Bristol BS8 2BL Proposed side arched extension, providing additional living space to the existing first/second floor maisonette. Appeal against refusal Delegated decision	05/11/2019
27	Windmill Hill	17 Shepton Walk Bristol BS3 5NU Proposed conversion of double garage to a one bed dwelling house. Appeal against refusal Delegated decision	05/11/2019
28	St George West	Land To The Rear Of 1A Clouds Hill Avenue Bristol BS5 7JD Erection of a single dwelling on the land to the rear of 1A Cloud Hill Avenue, following the removal of the existing garage and outbuilding. Reconfiguration of the external space shared by numbers 1 - 5 Clouds Hill Road. Appeal against refusal Delegated decision	14/11/2019
29	Bedminster	Advertising Next To 267 West Street Bedminster Bristol BS3 3PZ Appeal against discontinuance notice for a 48 sheet internally illuminated advertising display.	14/11/2019
30	Easton	191 Whitehall Road Bristol BS5 9BT Upgrade of existing 48 sheet advert to support digital poster. Appeal against refusal Delegated decision	19/11/2019
31	St George Central	125 Two Mile Hill Road Bristol BS15 1BH To erect a two bedroom dwelling. Appeal against refusal Delegated decision	20/11/2019
32	Stoke Bishop	16 Hadrian Close Bristol BS9 1DZ Demolish the existing building (Use Class C3) and build a two-storey detached residential dwelling (Use Class C3) with secure bicycle store. (Self Build). Appeal against refusal Delegated decision	20/11/2019
33	Lawrence Hill	7 Kensington Park Bristol BS5 0NU Enforcement notice appeal for installation of a front dormer roof extension without planning permission. Appeal against an enforcement notice	26/11/2019

34	Clifton	Land Rear To 28 Ambrose Road Rosemont Terrace Bristol BS8 4RJ The erection of a terrace of 3no. houses with associated landscape works (re-submission of application ref. 18/01993/F). Appeal against refusal Delegated decision	04/12/2019
35	Southmead	Site At 6 Embleton Road & 2 Staveley Crescent Bristol BS10 6DS Erection of 1 no 2 bed Dwelling and 1 no 3 Bed Dwelling adjacent to existing dwellings. Appeal against refusal Delegated decision	04/12/2019
36	Avonmouth & Lawrence Weston	Advertising Right Near Smoke Lane Ironchurch Road Bristol BS11 9BP Replacement of an existing illuminated 96-sheet advertisement display with an illuminated 48-sheet digital advertisement display. Appeal against refusal Delegated decision	09/12/2019

List of appeal decisions

Item	Ward	Address, description and appeal type	Decision and date decided
37	Hengrove & Whitchurch Park	1 Swainswick Bristol BS14 0AH Proposed attached self-contained dwelling house. Appeal against refusal Delegated decision	Appeal dismissed 25/11/2019
38	Horfield	36 Filton Avenue Bristol BS7 0AG Proposed no.3 bed, detached two storey single dwelling house, with cycle and bin storage and vehicle access onto Beaufort Road. Appeal against refusal Delegated decision	Appeal dismissed 08/11/2019
39	Westbury-on-Trym & Henleaze	53 Fallodon Way Bristol BS9 4HT Proposed garage at side of house. Appeal against refusal Delegated decision	Appeal allowed 22/11/2019
40	Stockwood	12 Swane Road Bristol BS14 8NQ Proposed erection of 1 no 3 bedroom dwelling. Appeal against refusal Delegated decision	Appeal dismissed 21/11/2019

41	Horfield	<p>37 Wellington Hill Bristol BS7 8SP</p> <p>Two storey side and rear extension to create a new dwelling within the corner plot. Single storey rear extension to existing dwelling. The front garden to No.37 will be re modelled to provide a further off street parking space for the existing property (self build).</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>04/12/2019</p>
42	Ashley	<p>First Floor Flat 17 Belmont Road Montpelier Bristol BS6 5AW</p> <p>Construction of a rear dormer roof extension, to provide a third bedroom and a en-suite for the first floor flat.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>05/12/2019</p>
43	Central	<p>35 - 37 Stokes Croft Bristol BS1 3PY</p> <p>Enforcement notice appeal for the installation of external roller shutters and associated shutter housing structures to the front of the property.</p> <p>Appeal against an enforcement notice</p>	<p>Appeal dismissed</p> <p>05/12/2019</p>
44	Lawrence Hill	<p>16 Feeder Road Bristol BS2 0SB</p> <p>Replacement of existing 1no illuminated 96-sheet advertisement with 1no illuminated digital LED display.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>20/11/2019</p>
45	Cotham	<p>24 Cotham Grove Bristol BS6 6AN</p> <p>Traditional metal balcony, accessed from the new kitchen at ground floor level. Metal steps leading down to the back garden at basement level. Privacy screens to each end of the balcony. Alteration of ground floor rear window into French door to access balcony.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal allowed</p> <p>06/12/2019</p>

DEVELOPMENT CONTROL COMMITTEE B

18th December 2019

REPORT OF THE DIRECTOR: DEVELOPMENT OF PLACE

LIST OF ENFORCEMENT NOTICES SERVED

No Enforcement Notices to report

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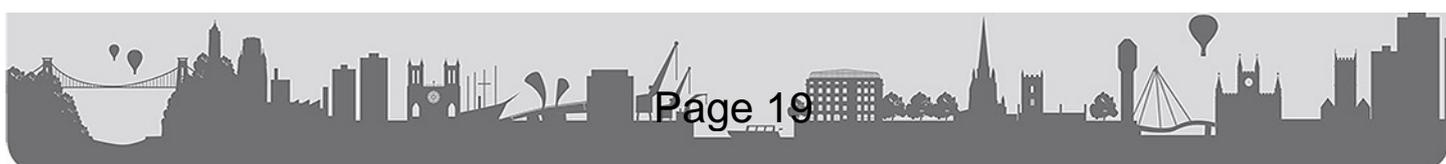
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Development Control Committee B 18 December 2019

Report of the Director: Development of Place

Index

Planning Applications

Item	Ward	Officer Recommendation	Application No/Address/Description
1	Central	Grant subject to Legal Agreement	<p>19/04331/F - Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol BS2 8HW</p> <p>Mixed use development comprising the conversion of part of the Old BRI Hospital building to accommodate 62 residential flats (C3 Use Class) alongside external alterations; retention and refurbishment of Fripps Chapel for community use (A3, D1 or D2 Use Class); demolition of the remainder of the buildings and erection of a part 4, 5 and 6 storey building to provide 416 students beds (Sui Generis) and 123 sq m of ground floor commercial floorspace (A1, A2, B1, D1 and D2 Use Class) associated landscaping; private access road, car parking and cycle parking.</p> <p>&</p> <p>19/04322/LA - Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol BS2 8HW</p> <p>Demolition of external structures surrounding the chapel, introduction of doorway formed in an existing window opening at podium level with associated works including a new pedestrian bridge link with slimline glass balustrades; retention of existing doorway and introduction of a glazed oriel window cantilevered off existing stone facade on the north west elevation of the building; replacement of the lower entrance door with panel timber door; retention of existing stone work and replacement stonework to block in existing openings to match existing (stone, detailing, mortar colour and ornamentation); retention of lead framed lancet windows and replacement timber sliding sash windows to replace non-original windows; other associated external alterations to the roof tiles, parapet gutter, parapet copings and rainwater goods.</p>

Item	Ward	Officer Recommendation	Application No/Address/Description
2	Lawrence Hill	Grant subject to Legal Agreement	<p>19/01690/F - Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN</p> <p>Demolition of Kingsown House and 1-3 Unity Street and erection of three buildings ranging in height up to 5 storeys comprising of 102 co-living studios (Sui Generis); 189 student bedrooms (Sui Generis); 525sqm of co-working/employment floorspace (Class B1a/B1b) alongside associated cycle and refuse storage, plant equipment, car parking, landscaping and associated highways works.</p>
3	Southmead	Grant	<p>19/05160/H - 26 Cranham Road Bristol BS10 5EF</p> <p>Erection of single storey side and rear extension, and erection of small porch to front elevation.</p>

index
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Development Control Committee B – 18 December 2019**ITEM NO. 1**

WARD: Central**SITE ADDRESS:** Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW

APPLICATION NO: 1. 19/04331/F Full Planning
2. 19/04322/LA Listed Building Consent (Alter/Extend)**DETERMINATION DEADLINE:** 18 December 2019

1. Mixed use development comprising the conversion of part of the Old BRI Hospital building to accommodate 62 residential flats (C3 Use Class) alongside external alterations; retention and refurbishment of Fripps Chapel for community use (A3, D1 or D2 Use Class); demolition of the remainder of the buildings and erection of a part 4, 5 and 6 storey building to provide 416 students beds (Sui Generis) and 123 sq m of ground floor commercial floorspace (A1, A2, B1, D1 and D2 Use Class) associated landscaping; private access road, car parking and cycle parking.

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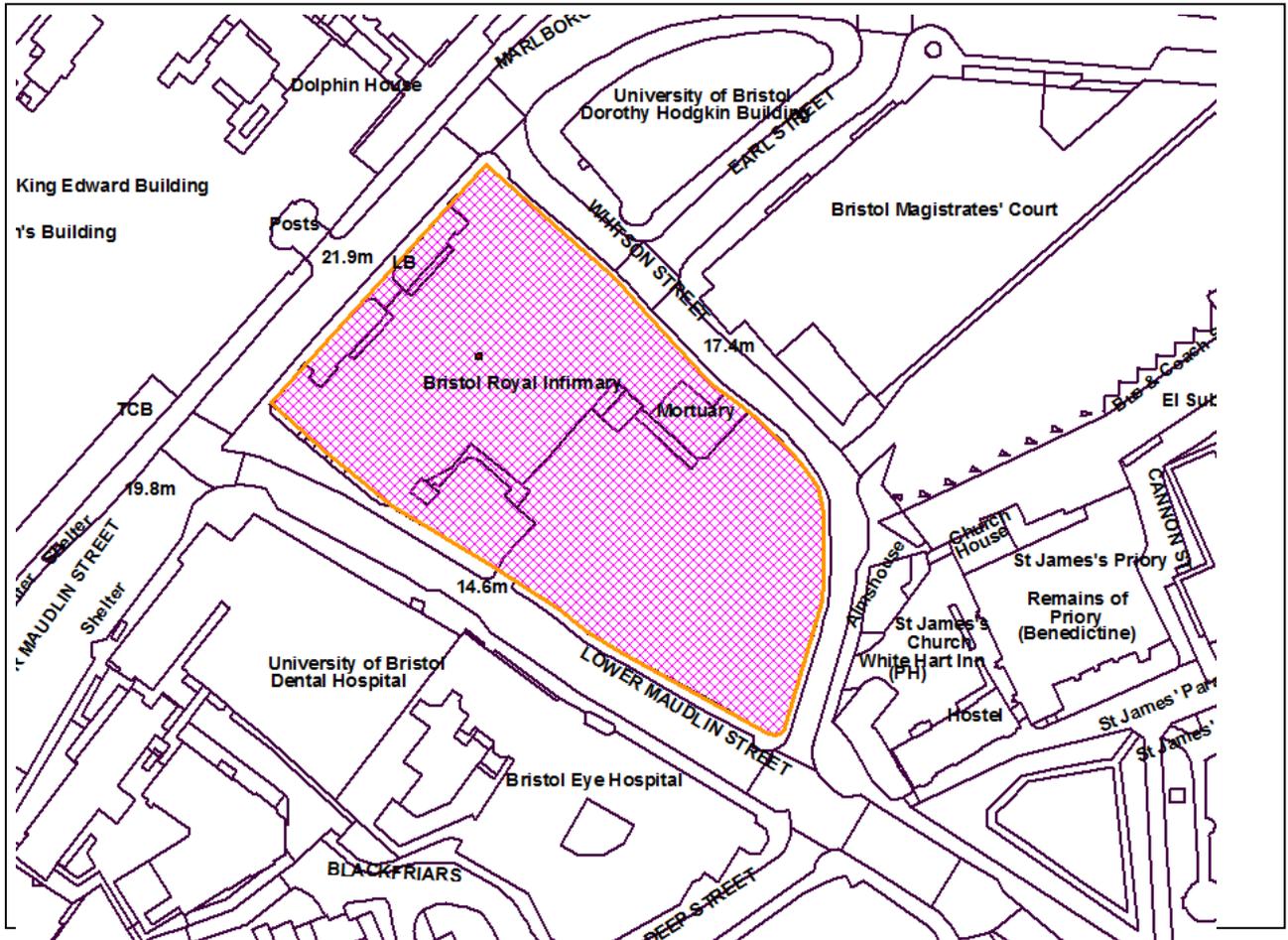
2. Demolition of external structures surrounding the chapel, introduction of doorway formed in an existing window opening at podium level with associated works including a new pedestrian bridge link with slimline glass balustrades; retention of existing doorway and introduction of a glazed oriel window cantilevered off existing stone facade on the north west elevation of the building; replacement of the lower entrance door with panel timber door; retention of existing stone work and replacement stonework to block in existing openings to match existing (stone, detailing, mortar colour and ornamentation); retention of lead framed lancet windows and replacement timber sliding sash windows to replace non-original windows; other associated external alterations to the roof tiles, parapet gutter, parapet copings and rainwater goods.

RECOMMENDATION: GRANT subject to Planning Agreement

AGENT: Mr Matthew Roe
16 Upper Woburn Place
London
WC1H0AF**APPLICANT:** Unite Students
C/O Agent

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN: See next page



Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW****SUMMARY**

Members are asked to consider two applications, the full planning permission (19/04331/F) and the accompanying listed building application (19/04322/LA) at the former BRI site; a (0.7 ha) site within the City Centre and an area designated as Hospital Precinct. The site was formerly owned by the Hospitals Trust but was acquired by Unite Group Plc. (student accommodation providers), in September 2015.

Over the last three years to four years there have been a number of proposals put forward by the new owners to redevelop the site which this Authority has not been able to support – refer to extensive planning history. During the course of this time the heritage status of the site has changed; the St James Parade Conservation Area was extended in August 2018 and now encompasses the site and the Fripp's Chapel was designated Grade II in Sept 2017; the former BRI building remains locally listed. With this change of status has been a welcome, and in your officers view, a necessary change of approach; a heritage led approach which unlike the majority of previous iterations, now retains and converts both the former BRI building (with the exception of the Hill Ward Block) and the Chapel.

This set of proposals introduces for the first time a residential element comprising 62 private rental apartments within the converted former BRI building. As a consequence 416 student bedspaces are now proposed in the new build element of the scheme, a substantial reduction from the 700 + bedspaces proposed on previous submissions. In addition the Fripps Chapel is to be refurbished and it is hoped will contribute to the public art offer on the site, but in any event will be available for A3 (food and drink), D1 (non- residential institutions) and / or D2 (Assembly and Leisure) uses. A small (123m²) commercial unit is proposed at the southern end of the site to add to the mix of uses, to be used for either A1 (retail), A2 (financial and professional), B1 (offices), D1 or D2 Uses.

Considerable public realm enhancements form part of the proposed scheme, which importantly include the creation of a new public square and the widening of the currently very narrow pavements around the whole site which was a failing of earlier schemes. Two new routes have been created through the site, one for servicing and one a route through to the new square, thus ensuring greater permeability. Members will also note that the scale of the new build element is not as extensive as previous submissions.

Through the mechanism of a Planning Performance Agreement, the scheme has significantly and positively evolved throughout a six month pre application process. Consequently the level of officer, community, member and stakeholder involvement has been high and the proposals informed by this process.

It is considered that the submitted scheme now addresses the majority of issues that have been raised with regard to the redevelopment of this site over the years. Whilst a number of amenity groups have raised more detailed issues it is fair to say that the proposals now attract support; albeit members will see that there continue to be objections from the Victorian Society and the Council for British Archaeology, which are reported in full. These objections centre around the demolition of the Hill Ward Block; the architecture of the new build elements in terms of the historic context, notably the conservation area and St James Priory, and subsequent impacts upon a number of other heritage assets. Concerns have been raised with regard to the relationship with St James Priory and as a result a number of amendments have been made to the scheme in order to avoid potential adverse impacts upon its more vulnerable occupiers.

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

Members will see from the report that officers have considered all the issues and have come to a recommendation of approval subject to a legal agreement and conditions in order to sufficiently mitigate any impacts. Members should note that whilst there is no requirement for the provision of affordable housing in this instance given the development benefits from the Vacant Building Credit, the applicants have offered 20 % of the units at a 20% discount for essential workers; this matter is addressed further in the report.

THE APPLICATION PROPOSALS

The site was formerly owned by the hospital Trust but has been acquired by Unite Group Plc. (student accommodation providers). The area surrounding the site is mixed in character including hospital buildings, the courts, the bus station, St James Priory, office buildings and a public house.

The application site is located within the St James Parade Conservation Area; the Chapel is Grade II listed and the former BRI building is locally listed. There are a number of listed buildings surrounding the site, including the Bristol Eye Hospital (Grade II); the White Hart Inn (Grade II) , the Church of St James (Grade I) and Church House (Grade II *). The site is in Flood Zone 1 and a Coal Authority Low Risk Area. Demolition of a number of buildings on the site has taken place under separate permissions at the southern end.

The application proposals include the following:-

- The part demolition of the existing structures on site which include a number of vacant medical buildings and the Hill Ward Block.
- The conversion of the former BRI building into 62 conventional residential dwellings for rent (Use Class C3) comprising 39x 1-bedroom flats and 23x 2-bedroom flats.
- Purpose-built student accommodation building of part 4, part 6 and part 7 storeys, including communal shared spaces, comprising 416 students bedspaces, predominately in cluster unit form (Sui Generis use);
- The provision of 123m² of commercial space at ground floor level (Use Class A1, A2, B1, D1 and D2 Use Class);
- The retention, refurbishment and conversion of the Fripps Chapel for flexible community use and potentially to incorporate the public art offer (A3, D1 or D2 Use Class);
- The provision of 4 disabled parking spaces (electric charging enabled); a total of 328 secure and covered cycle parking spaces including: 21 cycle spaces provided within the student cycle store; 96 within the undercroft for the residential building and 20 sheffield stands within the public realm.
- The provision of an extensive landscaping scheme providing a new public realm including a new route through the site; public square and the widening of footpaths around the whole site

Development Control Committee B – 18 December 2019

Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW

RELEVANT PLANNING HISTORY**Demolition – Prior Notifications**

16/03447/N- Prior approval for demolition of the buildings, boundary walls and ancillary structures on the lower half of the site. Approval was given on 25th July 2016. This excluded the old BRI building and the chapel.

17/02572/N – Application for prior notification of proposed demolition of all remaining buildings (which included the Chapel and former BRI). Refused on 13th June 2017 given the application did not provide enough information with regard to a number of impacts upon protected species; surface water drainage; site levels and boundary treatment.

17/03964/N – Prior Notification of Proposed Demolition – all remaining buildings. Approval was given on 14th September 2017.

Pre Application Enquiries and Planning Applications**2015**

15/00872/PREAPP- Pre-application enquiry by hospital Trust for the ‘Redevelopment of site to provide medical school and student residential accommodation’ involving demolition of the existing structures and physical features on the site and the erection of a medical school (approximately 2000 sqm) comprising teaching accommodation and ancillary accommodation; and circa 800-835 bed student residential development and associated support spaces including communal student uses.

15/04110/PREAPP- Pre-application enquiry for the “Redevelopment of site to provide purpose-built student accommodation, medical centre and offices”, involving the demolition of existing buildings (partial retention of boundary walls); a medical school (in partnership with the University of Bristol) circa 2000sqm fronting Whitson Street; a 742 bed student residential development (approx. 89 cluster flats providing 673 bed spaces and 69 studios); new office accommodation (circa 3000sqm) at the junction of Whitson Street and Lower Maudlin Street; retail uses (circa 440sqm) fronting Marlborough Street. Response issued on 6th November 2015.

15/06495/PREAPP- Pre application enquiry for the “Redevelopment of site to provide purpose-built student accommodation (750 bedspaces), a medical school and offices”. Responses were given on the 25th Jan 2016 and 19th April 2016.

2016

Planning Application ref: 16/01888/F - “Amended proposal Conversion of the Old BRI Hospital building including two upper storey additions and partial demolition to accommodate 6283sqm Office floorspace (Use Class B1) and 4031sqm Medical School (Use Class D1); and part 6, part 7, part 8, part 12, part 14, part 16, and part 20 storey building to the rear for student accommodation (Sui Generis) comprising 738 student bedspaces; communal areas and refurbishment of Fripps Chapel for communal student facility with ground floor commercial use (Use Class A3); associated landscaping, car parking and cycle parking”.

Refused at Development Control Committee held on 28th September 2016 for the following two reasons:-

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

1. *The proposed development by reason of its height, scale, massing, overall design quality and appearance would be unacceptable in design terms and would fail to preserve the special interest and setting of relevant heritage assets contrary to Sections 66 and 72 of the Planning (Listed building and Conservation Areas) Act 1990; Sections 7 and 12 of the National Planning Policy Framework (March 2012); Policies BCS21 and BCS22 of the Bristol Core Strategy (June 2011); Policies DM26, DM27 and DM31 of the Site Allocations and Development Management Policies (July 2014); Policy BCAP43 of the Bristol Central Area Plan (March 2015) and Supplementary Planning Document 1: Tall Buildings (January 2005).*

2. *The proposed development would have a detrimental impact on the amenity of neighbouring residential properties at St James Priory by reason of its overbearing effect and noise and disturbance impact and would be contrary to Policies BCS21 and BCS23 of the Bristol Core Strategy (June 2011); and Policies DM2 (i), DM27 and DM29 of the Site Allocations and Development Management Policies (July 2014).*

The Notice of Decision was issued on 5th October 2016. An appeal was submitted to the Planning Inspectorate but this was subsequently withdrawn.

2017

17/00251/PREAPP – Pre application enquiry for the “Redevelopment of the site to provide purpose built student accommodation, medical centre and offices” The proposals included the demolition of the remaining buildings on the site – namely the Old Bristol Royal Infirmary and Fripp’s Chapel; the redevelopment of the front, north of the site for a new purpose built student block (option 1_G.4) for 714 + bedspaces, including 9% studio flats and a mix of cluster flats with communal areas; bin and cycle storage and 16 under croft car parking spaces for the proposed offices and medical school; to the rear a new medical school to be utilized by the UH Bristol NHS Foundation Trust (approx. 3,000 sqm) and speculative commercial office space, (approx. 2, 000 sq m); an area of public space / realm to the south in front of the proposed Medical School and offices; the creation of a service / access road through from Lower Maudlin Street to Whitson Street; commercial units fronting Lower Maudlin Street (approx. 297 sqm) as part of the northern block and in the south western corner (135.17 sq m) , in part fronting the area of public realm, as part of the southern block. Response provided on 4th April 2017 which concluded that Officers were unable to support the proposals as submitted.

Planning Application ref: 17/02413/F “Demolition of the existing buildings and redevelopment of the site to provide a part 7, 8 and 9 storey building fronting Marlborough Street, comprising 715 student bedspaces; communal areas and central courtyard; and erection of part 4, 5 and 6 storey building to the rear to accommodate a mix of uses, including office floorspace (Use Class B1) and/or medical school (Use Class D1) equating to 6,860sqm and a small commercial unit; associated access road, landscaping, public realm improvements, under croft car parking and cycle parking”.

Following an appeal against non- determination by the applicants given a decision was not issued within the 13 week period, it was resolved by DC Comm B, that had they had the jurisdiction to do so, the proposals would have been refused on the following grounds:-

1) The proposed development by reason of its overall urban design and architectural quality would be unacceptable, failing to respond positively to the existing city centre context and failing to preserve the special interest and setting of relevant heritage assets contrary to Sections 66 and 72 of the Planning (Listed building and Conservation Areas) Act 1990; Sections 7 and 12 of the National Planning Policy Framework (March 2012); Policies BCS21 and BCS22 of the Bristol Core Strategy

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

(June 2011); Policies DM26, DM27, DM28, DM29 and DM31 of the Site Allocations and Development Management Policies (July 2014); Policy BCAP43 of the Bristol Central Area Plan (March 2015).

2) The proposed development, by reason of siting, fails to provide for adequate road space to make improvements to the local and wider transport network which will have adverse impacts upon the quality and safety of pedestrian and cycle routes around the site; congestion; public health; highway safety and will prejudice the delivery of wider strategic growth within the vicinity and central area. As such the proposals are contrary to advice contained within Section 4 of the National Planning Policy Framework (March 2012); Policies BCS10 and BCS13 of the Bristol Core Strategy (June 2011) and policies DM23 and DM27 of the Site Allocations and Development Management Policies (July 2014).

3) The proposals fail to provide adequate footway widths in order to provide for the significant increase in pedestrian movements around the site to the severe detriment of pedestrian safety and accessibility, contrary to guidance contained within Section 4 of the National Planning Policy Framework (March 2012); Policies BCS10 and BCS13 of the Bristol Core Strategy (June 2011); Policy DM23 of the Site Allocations and Development Management Policies and policy BCAP43 of the Bristol Central Area Plan (March 2016).

4) The proposal fails to provide adequate cycle parking and thereby adequate provision of sustainable travel facilities contrary to guidance contained within Section 4 of the National Planning Policy Framework (March 2012); Policy BCS10 and BCS 13 of the Bristol Core Strategy (June 2011) and Policy DM23 of the Site Allocations and Development Management Policies (July 2014).

5) In the absence of information to the contrary, the proposed development would result in an unacceptable substantial adverse impact upon air quality in the locality and is therefore contrary to policy BCS23 of the Bristol Core Strategy (June 2011) and Policy DM33 of the Site Allocations and Development Management Policies (July 2014).

An appeal was submitted to the Planning Inspectorate on 9th August 2017, however this was withdrawn following the listing of the Chapel.

COMMUNITY INVOLVEMENT

Submitted with the application was a Report of Community Involvement (August 2019).

Process: With regard to Community Involvement on this scheme the report advises that the emerging proposals were shared with key stakeholder groups and near neighbours, as well as the wider public, following the advice set out in the BCC Statement of Community Involvement as well as NPPF guidance. The “consultation” involved round table sessions; individual stakeholder meetings; a public exhibition and drop in sessions; a member and stakeholder briefing facilitated by BCC officers and a follow up Key stakeholder presentation (detailed on page 6). Consultation material and a link to an online survey was also made available and posted on social media sites.

Outcomes: At page 13 - 18 of the report there is a summary of the comments and a useful response to the feedback. To conclude it has been an iterative and collaborative process.

RESPONSE TO PUBLICITY AND CONSULTATION

A site notice and press notice were issued and neighbours consulted by individual letter. Following a number of amendments to the scheme there was a further round of publicity and consultation in early November. The following comments have been received:-

Development Control Committee B – 18 December 2019

Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW

Members of the Public: The Authority has received a total of 6 letters the main comments of which are as follows:-

Proposed Uses – the proposals would result in a student ghetto; too concentrated and against current policy; need to be dispersed around the city.

Private rental accommodation would help alleviate housing shortage in the area.

The Hill Ward Block would be better as a private residential accommodation than as student beds.

Quality of Student Accommodation: Student rooms are generally too small – claustrophobic for living in and studying. Ten students sharing a small dining area is crowded.

Scale / Urban Design / Architecture – support the elevation on Marlborough Street – restoration of the window pattern and using front part of the site for residential. Removal of 20th century encumbrances and restoration of old infirmary a “stunning positive leap forward” A big improvement on what has been previously proposed.

Retail opening facing Whitson St and St James Priory will have an adverse impact.

The height of buildings facing Priory and White Hart PH should really have rooflines no higher than these buildings.

Incongruous oversized modern blocks.

Pavement widths – re locate the taxi rank to widen footpath on Whitson Street. (Officer Note: addressed in subsequent amendments).

Proposed reduced scale of the new build southern block is commendable.

Consideration should be given to altering the proposed southern elevation facing the White Hart, Church House and Priory to blend in more. The transition needs to be smoother.

Sustainability - gas central heating is proposed for the residential flats in the old BRI building. Given the climate emergency and recent report that central heating boilers threaten climate change targets and clean air goals (<https://www.bbc.co.uk/news/business-50041077>) consideration should be given to other forms of heating and (if not already done so) to additional insulation of the proposed flats. (Officer Note: the development is now to connect to the District Heat Network).

Green Infrastructure – where is the “living” green roof? (Officer Note: This is now proposed and was submitted as part of the amendments to the scheme).

Residents of St James House (The Old Almshouses): Eight residents of St James House have written to object to the siting of the commercial unit and the location of the main entrance and exit for 400+ students directly opposite St James House which they consider will lead to noise and disruption to fellow residents and ask whether this could be sited elsewhere on the site. A support co – coordinator has also re iterated the above comments stating that not enough thought has been given to the residents that live at St James House and that their needs are not being respected. Concern is also raised with regard to the impact of the southern elevation; the façade is considered to be too over whelming and does not fit into the historic heritage context.

St James Priory: “The current proposals for the BRI site are, on the whole, a positive improvement on previous plans. We support the plans for accommodation units in the old BRI building. The images

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

of the changes to the face of the old BRI building on Marlborough Street show welcome alterations and improvements to the façade and the general impression of the building. The developments around the Fripp's Chapel are also impressive in that the new buildings seem to fit very well with the Chapel and complement the Chapel and its stone frontages. The proposed buildings take into account the texture and visual similarities of the Chapel in recognition of its Grade 2 heritage status.

However, the greatest Heritage asset locally - St James Priory (Grade 1 listed) is afforded scant consideration. The Priory site, which includes St James House (the old Almshouses), Walsingham House and Church House (Grade 2 listed) is barely considered in these proposals.

The first planning application by Unite was refused partly on the lack of consideration for the adverse and overbearing impact on the Priory building but also due to the consequences of such a development on the health and welfare of the vulnerable people who live in St James House and Walsingham House. The current application makes no reference to the effects on St James Priory Church or on the residents in St James House (an HMO supported accommodation for people in recovery from addiction) and Walsingham House (a men's mental health crisis centre operated by St Mungo's).

The façade of the buildings opposite St James Priory shows no regard for the historic and protected Grade 1 listed building. This contrasts with the care taken with the developments around the Fripp's Chapel. Unlike the buildings adjacent to the Chapel there is no link with the Norman Stonework or the other stonework from the frontage of the Priory. Instead there is Brown Metal Cantilever cladding (8.19 Visual Assessment) directly opposite the Priory which in no way complements the stature or historical importance of the Priory. In fact it is a massively insensitive contrast when compared with the sympathetic nature of the rest of the development. This is not appropriate and is out of keeping with the considerate nature of the rest of the development. Also it does not comply with the professed aim of respecting the St James Conservation area.

Opposite St James House HMO in the planning application there is a Commercial Unit. This is likely to be a retail unit such as a Tesco Metro, similar to the one in Marlborough Street under the Student Accommodation there which could be open from 7am - 10pm. This will have an adverse effect on the residents whose kitchen and dining area is directly facing. The unit could be situated in an alternative area where it will have fewer consequences for vulnerable residents.

The same applies to the main entrance and exit for students which on the plans is directly opposite the gateway into St James Priory where St James House and Walsingham House are situated. This thoroughway could also be re-sited in a less intrusive and more respectful position".

Kingsdown Conservation Group: "Fully support the proposals. However the disposition and species of trees specified in the above proposals should be reconsidered. Views of the Grade II listed Chapel would be obstructed by the canopies of maturing trees when viewed across the central courtyard from Lower Maudlin Street and also from a southerly direction on Whitson Street. For many visiting coach passengers the view up Whitson Street would be their first prospect as pedestrians in the city of Bristol.

There seems to be a widespread school of thought that mistakenly favours the planting of trees in front of historic buildings with the aim to improve the scene, when, of course, that is often not the result. On this occasion, it is the appearance of the proposed new buildings that would need to be mollified. The Chapel is too valuable to be obscured". (Officer Note: two trees proposed nearest to the Chapel on Whitson Street were removed and re sited as part of the amended plans).

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

Christmas Steps Arts Quarter: “The Christmas Steps Arts Quarter (Residents and Traders) is delighted to support this application with its change of architect and decidedly conservation-led approach. It contains many of the features that our association has been asking and hoping for.”:

Retention and restoration of the Old BRI Building; The sizeable element of adult residential accommodation therein (the 62 flats including affordable housing); the retention of Fripp's Chapel as a community space; a much-reduced element of student accommodation (416 beds instead of the previously proposed 750) that would now sit comfortably within the remaining area of the site; the height reducing down towards St. James' Priory; respect for traditional building materials appropriate to the conservation area and subtle light coloured non-oppressive brickwork.

Notwithstanding the above some concerns regarding the BRI NW elevation, and the south east corner of the PBSA and reiterated the issues raised surrounding St James Priory Project. With regard to the latter they state:-

1. The proposed architecture of the elevation facing the listed buildings of St. James Priory and the White Hart appears to be the most "Modern" elevation of the complex in its design, whereas a more discreet elevation appropriate to being opposite to some of Bristol's most historic buildings would be welcomed.
2. In previous pre-app consultations, we have suggested that the commercial/retail frontage(s) should be round the corner to be opposite the Eye Hospital, and St. James Priory is requesting that both this and the students' entrance should be similarly moved around to the same place in Lower Maudlin Street. It is important that the need of St. James Priory Project to operate in as tranquil a setting as possible in the lower end of Whitsun Street should be respected.

They conclude however by saying that “We have no wish that the application should be refused or delayed because of these concerns. Therefore we hope that these points plus those raised in our initial response can be dealt with by satisfactorily revised plans within the progress of this current application”.

Civic Society: “The Society welcomes the current planning application without reservations. The retention, restoration of the street elevations and the reuse of the Old Building for residential purposes is a planning and conservation gain.

The proposal to build student accommodation on the lower site is an acceptable balance of development against commercial need. We support the introduction of the elevated public square to provide local 'lung' space with the glimpse views that it will give through the site. We welcome and support Unite's efforts to improve the pavements, cycle ways and parking arrangements on Lower Maudlin Street and Whitsun Street, as well as the creation of the new through routes along Earl Street and West Street and to improve the street furniture and tree planting. The Society makes two suggestions,

- (i) Tree planting should not obscure the views of the Grade II listed chapel, from any direction. Similarly, no significant planting should disrupt the formality of the railed area that faces Marlborough Street. Re the **amended plans** it is noted that these trees are now relocated to the southern end of the site.
- (ii) Graffiti and tagging will be a continuous problem. The graffiti on the security hoardings show that the location is a prime target. Natural stonework does not discourage tagging nor does street art protect walls. Thought should be given to means of designing out this form of anti-social behaviour.

With regard to the **amended plans** the Society state that they would choose for conservation purposes to site the disabled access to behind the old building given the classic symmetry to the front of the building. Comments are made with regard to the practicality / functionality of this access.

Development Control Committee B – 18 December 2019

Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW

Conservation Advisory Panel: “As noted in the previous per application submission the Panel welcomed the heritage led approach. However the audit of the interior of the original building should have been more clearly informed the final design. The proposed material for the attic storey was a concern. It was considered that the design of the new block was generic and should be improved. The archaeological comments must be taken into account. The tree planting appeared to be random and changed between drawings. Views of Fripp’s Chapel, both across the yard from Lower Maudlin Street and up the hill from the exit from the bus station would be blocked by some of the trees”

University Hospitals Bristol: - “The proposed mixed use of the site will make the best use of this important city centre site. We look forward to supporting Unite during the proposed construction”.

University of Bristol - Have submitted a letter of support, confirming that as an organisation they support the location, product, price and generally the type of accommodation albeit they state that they will leave the proposed studio’s “within the applicant’s direct control”.

OTHER COMMENTS – STATUTORY AND NON STATUTORY CONSULTEES

Council for British Archaeology (CBA): There remains an outstanding objection from the CBA – full comments can be referred to on – line. The CBA strongly opposes the proposed demolition of the Hill Ward Block and considers this to be substantial harm. It also considers that the “design parameters for this site will need to be better informed by the results of archaeological evaluation” and that “subsequent archaeological mitigation will need to be fully detailed and fully consulted upon prior to any decision regarding this application”. Officer Note – a third version of the Written Scheme of Investigation was submitted since these comments have been made and the issue is addressed in Key Issue D of this report.

The Victorian Society: Objects to these proposals as follows:-

Old Building and Hill Ward Block - The Old Building of the Bristol Royal Infirmary was constructed in the late 18th and early 19th centuries and extended at various subsequent times. Whilst not all of these extensions can be considered sympathetic, the Hill Ward Block, constructed in 1866-1868, does make a strong contribution to the site. Despite alterations, its southern and eastern elevations are still a prominent feature and the buildings continue to add to the architectural interest of the site as well as to the group value of the Old Building and the Chapel. The Design and Access Statement acknowledges this as well and notes that even with these unsympathetic extensions, the Hill Ward Block continues to contribute to the appearance and character of the Conservation Area. The St James Parade Conservation Area was almost doubled in size recently in order to include the site of the hospital buildings and lend them some protection after listing was refused. Despite this however, it is still not a large area and the demolition of a fairly substantial building within this would lead to significant harm to the conservation area. The argument that the varying floor heights and fenestration patterns have frustrated attempts to convert the building to either residential use or student accommodation should not be seen as sufficient justification for demolishing, rather than converting, the building.

Regarding the proposals for the conversion of the Old Building, we have concerns with the treatment of the façade. A number of the windows had their sills dropped in the early 20th century altering the appearance of the façade considerably. Given the classical design of this façade, the proportions are important, and whilst existing appearance of the windows is mildly damaging, lowering the sills of the surrounding windows would only serve to exacerbate this harm (rather than remedying it) by increasing the number of disproportioned windows. Ideally, the sills of all of the altered windows would be raised to their original position, but failing that it would be less damaging if the sills were to remain as they are so that at least some of the original proportions could remain visible.

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

Furthermore, whilst we have no objection in principle to the replacement of the current roof extensions, the proposed design for the replacements needs to be rethought in order to limit the impact which these will have on the building. The suggested material of oxidized copper in the current proposals would appear incongruous in the context of the rest of the façade and would have a consequent negative impact on the main building of the hospital site. (Officer Note: The roof material has been amended to reflect this comment)

Chapel - In regard to the Grade II-listed Chapel, whilst opening up views of the building to the west through the demolition of the adjacent extensions will be positive, the insertion of double glazing could mar this positive impact. The reflections caused by double glazing can significantly alter the appearance of windows and indeed the entire structure, and secondary glazing would be far more appropriate for this Grade II-listed building.

Development of the remainder of the site - Finally, the design of the proposed student accommodation blocks would not be appropriate in the context of this small conservation area. They appear to take little inspiration from the surrounding buildings within the conservation area, and through their massing and height would instead cause harm to the rest of the buildings within this area including the Grade I-listed St James' Priory and the Grade II*-listed Church House.

Policy - The boundary of the conservation area was extended recently in order to offer the remaining non designated heritage assets a further degree of protection, and the hospital site now occupies around half of this area. The demolition of a significant building on the site, and the construction of these student accommodation blocks would lead to substantial harm to the conservation area. The proposed new blocks would occupy the central section of the site, and through their massing, dominate the historic buildings of the conservation area to the north west and south east.

Under paragraph 195 of the NPPF, where a proposed development will lead to substantial harm to a designated heritage asset, "it must be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm", or it must be demonstrated that all of the following points apply:

- a) the nature of the heritage asset prevents all reasonable uses of the site; and
- b) no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and
- c) conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and
- d) the harm or loss is outweighed by the benefit of bringing the site back into use.

All four of these points must be met in order for the harm of a proposal to a heritage asset to be justified and it is up to the council to judge this. It is our view, however, that this is not the case and the harm can therefore not be accepted.

Conclusion - The council's decision to extend the conservation area in order to lend these buildings an added degree of protection reflects their local importance and it is up to the council to ensure that the protection which these buildings should have legally is afforded to them. Allowing this application would not do that and we therefore urge you to refuse consent.

Natural England: No comments – refer to Standing Advice regarding the assessment on protected species.

Historic England: No objections on heritage grounds albeit that concerns continue to be expressed with regard to the views of the Chapel from the southern aspect and the demolition of the Hill Ward.

Development Control Committee B – 18 December 2019

Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW

The Council's City Design Group (Urban Design; Conservation; Archaeology; Public Art; Landscape) – the comments of the City Design Group (CDG) are referenced and discussed at Issues C and D of the report. Overall the City Design Group states that it “welcomes the proposed development in principle and the positive pre-application and post submission engagement undertaken on the case. The engagement has helped to highlight and move a number of issues towards resolution. Most of issues have been successfully resolved through the engagement process. While there are some areas which may benefit from design tweaks, the proposal overall is satisfactorily resolved as per the adopted policy and guidelines. Some of the issues that remain outstanding can be resolved using planning conditions; CDG therefore supports the scheme for approval with conditions”.

In terms of the observations from the **Conservation** Section in particular there are particularly detailed comments given the complexities of the scheme and of course the thorough consideration that is required for the listed building application. The full set of comments can be viewed on line and will be particularly referenced within Key Issue D of this report. It concludes however that “in considering the scale of the benefits against the harm posed to heritage assets, and ensuring that the required level of great weight is placed in conservation, we conclude that there is adequate public benefit that can offset the harm posed. However we require that further harm is mitigated through the application for conditions on any planning and Listed building consent that might be granted by this local authority”.

In terms of the observations regarding **archaeology** and following the agreement of a Written Scheme of Investigation (version 3) fieldwork to record all the archaeology is ongoing. A suitably worded pre occupation condition on any permission would be required to ensure the completion and publication of the results and excavation works that have and are continuing to take place. In addition a condition to record buildings before alterations / demolition is also to be imposed on any permission.

The Council's Transport Development Management Team - following considerable dialogue with the TDM team and the applicants and following amendments to the scheme in there are no in principle issues raised - refer to Key Issue G.

Sustainability Team – refer to Key Issue E

Flood Risk Manager – No objections, the Drainage Strategy is acceptable, subject to the imposition of a condition in this regard.

Pollution Control – No objections subject to a number of conditions. The Acoustic Assessment Report makes a number of recommendations with regards to the insulation of the student accommodation and conditions are recommended to ensure that these are carried out. The report also gives noise limits for any plant associated with the development but as plant has yet to be selected conditions to ensure approval of the details of such would be the subject of a condition. The site is in a relatively restricted location with sensitive uses nearby. A Demolition/Construction Management Plan will be required by condition. The development also proposes A1 and either A3, D1 or D2 use and conditions are required in with regard to opening hours and refuse and re cycling deliveries.

Land Contamination – No objections subject to conditions.

Air Quality Team – No objections subject to a number of conditions regarding the positioning of flues and the requirement at this time for windows on the façade fronting Marlborough Street to be non – opening, up to and including the third floor.

Development Control Committee B – 18 December 2019

Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW

Avon and Somerset Constabulary - no objections, albeit would suggest that consideration be given to applying the Secure by Design certification.

First Group (Bus) Non received but on previous schemes had advised that “Imperative to the flow of the bus station we would like to stress the importance of keeping Whitsun Street open as much as possible and keep any required closures to an overnight basis. As you may be aware daily closures would have a signification impact upon service delivery and passenger journeys”.

Equalities Impact Assessment

During the determination of this application due regard has been given to the impact of this scheme in relation to the Equalities Act 2010 in terms of its impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. Overall, it is considered that the approval of this application would not have any significant adverse impact upon different groups or implications for the Equalities Act 2010.

KEY ISSUES

Development Plan policies referred to below are pre fixed by the following codes:-BCS - Bristol Core Strategy; DM - Bristol Site Allocation and Development Management Policies Document; BCAP – Bristol Central Area Plan.

(A) EXISTING LAND USES AND THE PRINCIPLE OF THE PROPOSED LAND USES

i) Former Land use

The application site is located within Bristol City Centre as defined by the Bristol Central Area Plan (BCAP). The site is designated by the BCAP as being within the Hospital Precinct area of the St Michael’s neighbourhood, which is to *“be developed for healthcare and ancillary uses associated with the University Hospitals Bristol Trust.”* (Policy BCAP11 refers). Local Policy BCS2, provides for the continuing consolidation and expansion of the BRI site, reflecting the contribution it has to the economy and mix of uses in the city centre. It does not allow development which would impede such consolidation and expansion of the hospital facilities within the precinct.

The site was formerly owned by the University Hospitals Bristol NHS Foundation (Trust) (UHBT) but has now been acquired by Unite Students. The Old BRI site was last used by the Trust for ancillary office facilities with some non-clinical services. All services have been moved off the site into new or existing Trust accommodation as a part of a long term rationalisation of the overall UHBT estate, the site having been deemed surplus to requirements through the UHB Trust’s Estate Strategy 2015-2020 and Estate Strategic Plan 2014-2020. This forms part of the wider Bristol Health Services Plan, a major capital programme that seeks to replace old accommodation that is redundant and no longer serves adequately modern day healthcare use. The Estate Strategy focuses on removal of ancillary and non-clinical estate provisions such as the Old BRI building site, which could not support modern operational healthcare service and is no longer economically viable due to high maintenance and running costs.

In light of the above the loss of the health facility as expressed in the application is considered acceptable; the proposals will not impede the consolidation and expansion of hospital facilities.

ii) The Principle of the proposed land uses

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

In principle the proposed uses of purpose built student accommodation and commercial / office accommodation have been previously accepted on this site given that earlier (but relatively recent schemes; 16/01888/F and 17/02413/F refer) were refused on heritage; design; amenity; transport and air quality grounds only. The inclusion of a substantial element of residential development in the form of private rental accommodation is now to be added to the mix with a consequent reduction in the level of purpose built student accommodation (PBSA). In addition it is proposed that Fripps Chapel is to be used for either A3, D1 or D2 uses and the commercial unit for A1, A2, B1, D1 and D2 Use Class.

Ultimately the principle of a mix of uses on this city centre site align with Policy BCS2 which aims to promote Bristol City Centre's role as a regional focus, strengthened amongst other things, through the more efficient use of land and a greater mix of uses. Opportunities for high quality and where appropriate, high density mixed use development to maximise opportunities to re-use brownfield land in the most efficient way are to be taken (policies BCS7, BSC20 and BCAP1).

In terms of the principle of each of the proposed uses the following is advised:-

Residential - The application proposes 62 residential apartments. The site is highly sustainable in terms of its location particularly given its proximity to shops; jobs, services and facilities including sustainable transport modes. Set within the context of the requirement for a total of 26,400 homes in the city as a whole (policy BCS5 refers) between 2006 and 2026, and the provision of some 7,400 of this within the City Centre (BCS2 refers) the inclusion of a residential element within the proposed scheme is welcome. Sited as it is within the St Michael's 'neighbourhood' (as designated in the BCAP) predominantly residential development, given the low flood risk, is particularly encouraged.

Purpose built student accommodation (PBSA). Student accommodation contributes towards citywide housing delivery targets in accordance with national guidance (the NPPF). In this instance the proposals contribute to the equivalent of 155 dwellings, (note: the studio flats are deducted and the number of cluster flats divided by 2.5).

Policy DM2 states that student development will be acceptable in principle within the city centre. Members will be aware that emerging policy (H7 and DS3) within the Bristol Local Plan Review seeks a more directive approach to the location of specialist student accommodation. Relevant policy within this document is however at an early stage in its preparation, with unresolved issues, such that it cannot reasonably be afforded significant weight at this point in time.

The applicants have submitted a Student Accommodation Supply and Demand Analysis (August 2019), which explains that there is currently a significant demand for and undersupply of purpose built student accommodation (PBSA) in the city at the current time. This supports the LPA's pre-existing understanding of this situation through discussions with higher education establishments and in formulating future policy.

The report indicates that there are currently over 45,000 full time students in Bristol and this is set to reach over 52,125 by 2022/23. It states that the supply of quality accommodation is an increasingly important factor in the decision of which University students decide to attend and that for returning 2nd and 3rd year students PBSA is becoming the accommodation of choice. It advises that the number of PBSA currently under construction or in the current pipeline provision is not going to keep pace with the expected rise in student numbers. The report identifies a number of other benefits that the provision of PBSA will bring including the fact that the further provision will free up housing stock for young people and families; (for every 1,000 students in HMOs this takes around 200 homes out of the local housing supply); the location is well placed to serve both Universities being adjacent to the University campus and near to the bus network up to UWE; it will be a managed and safe environment and bring greater spending power to the area.

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

The principle of student accommodation, for which a clear demand has been shown, is considered therefore to be acceptable in principle in this location subject of course to the consideration of detailed policy requirements (see Key Issue B below). The applicants have confirmed that the University of Bristol will be securing this accommodation and have endorsed the numbers and provision as per the application proposals.

A1, A2 and B1 uses, these uses are proposed within the small scale unit of (123 sqm) at the southern end of the site fronting Whitson Street, clearly dependent upon the interest of the market and as such yet to be determined. The impact of these uses with regard to the relationship with St James Priory is addressed later in the report.

Policy BCAP15 states that new small-scale retail (A1) uses or other related uses (Use Classes A2-A5) outside of designated shopping frontages/ areas in the City Centre would be acceptable where they would contribute to the activity and vitality of the area. As such the principle of the proposed A1 and A2 uses is acceptable here. The proposed B1 office / business use is also considered acceptable given the city centre location – policies BC7; BCAP 1 and BCAP 6 specifically refer.

D1 and D2 - uses are proposed in both the converted Fripps Chapel and the commercial unit at the southern end of the site.

The proposed D1 (non- residential institutions) uses are acceptable in principle in the city centre – policies BCS2 & BCAP 1 specifically refer. Given that this use class comprises a wider range of use it is considered necessary to impose a condition on any permission to exclude clinics, health centres, crèches and day nurseries from the authorised D1 uses given the likely adverse highway impacts that would result. The applicants have accepted the need for this restriction.

The proposed D2 (Assembly and Leisure) use are acceptable in principle in the city centre – policies BCS2 & BCAP1 specifically refer. This use class comprises a wide range of uses which would be expected within this sustainable city centre location.

A3 Restaurant and Cafes - are proposed as an option within the Fripps Chapel; an acceptable use provided it would not result in harm to the character, residential amenity or public safety of the area taking into account impact of noise, activity, fumes/ smells, litter; transport considerations, refuse storage and flues –(Policy DM10 specifically refers). The proposals are deemed acceptable in relation to these criteria, subject to appropriate conditions to control matters including opening hours, servicing, extraction equipment, plant noise levels and odour.

(B) MIXED AND BALANCED COMMUNITIES - THE NATURE AND MIX OF THE PROPOSED RESIDENTIAL ACCOMMODATION

i) Will the development contribute to the mix of housing in the area?

Section 5 of the NPPF reflects the need to significantly boost the supply of housing and to deliver a wide choice of high quality homes, widen opportunities for home ownership and create sustainable, inclusive and mixed communities. Policy BSC18 of the adopted Core Strategy reflects this guidance and states that "all new residential development should maintain, provide or contribute to a mix of housing tenures, types and sizes to help support the creation of mixed, balanced and inclusive communities" In the first instance developments are required to address affordable housing need and housing demand across the city under this policy and in effect this is captured by the preceding policy BCS17. The policy then goes on to state that development 'should aim to' contribute to the diversity of housing in the local area and help to redress any housing imbalance that exists; respond to the requirement of a changing population and employ imaginative design solutions. Policy BCAP3 identifies the need and demand for family sized homes within the central area and as such requires the development of new homes to contain a proportion of family sized homes, defined as houses with

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

two or more bedrooms or flats with three or more bedrooms and an element of usable outdoor amenity space.

The submission proposes the conversion of the former BRI building to 62 one and two bedroom flats which on the face of it does little to address the imbalance that exists in terms of the under provision of family housing. The housing profile and mix for the Central ward within which the development sits, comprises 91.8% houses and 7.9% flats. In terms of number of bedrooms 43.3% of the housing stock here are one bedroomed and 33.7% are two bedroomed. To a certain extent it must be recognised that this is a city centre location where the characteristics of the site make the provision of family accommodation more difficult. In addition the need to retain the historic H plan layout of the former BRI building makes its conversion rather constrained. Whilst options were investigated to provide some family housing at the lower levels to the rear, this was considered challenging and ultimately impractical.

Notwithstanding this issue the proposals do represent the introduction of purpose built rented accommodation and as such bring a different residential offer to the city. In addition the offer of 20% of the units to be for Essential Workers contributes further to the housing mix. Whilst this form of housing (20% discount on market rent) would not normally be accepted as affordable and meeting local housing need, because this site does not generate a specific need for affordable housing (due to vacant building credit) this offer is welcomed in these circumstances. The provision of PBSA to a degree frees up the existing housing stock for family homes within the City Centre to which policy BCAP 3 refers and provides another residential type to add to this mix. Overall and on this basis it is considered that the proposals contribute to the housing stock as well as satisfactorily contributing to the mix of housing in the area.

Will the development contribute to the diversity of uses in the area?

The application site is situated within a mixed use area and is surrounded by a variety of uses including: the bus station, courts, university buildings, hospital services, offices, public house, residential flats, other PBSA developments, places of worship and temporary residential uses (both short stay and longer stay uses) at St James Priory. In terms of PBSA more specifically the submitted Student Accommodation Supply and Demand Analysis (Aug 2019), includes listings of PBSA in the city either provided by both universities, leased by them or purpose-built and directly let – page 28 +. This Authority has its own records of Specialist Accommodation in Bristol and it is clear, and to be expected, given the city centre location and being close to the University of Bristol (UoB) and public transport links to UWE, that there is a cluster of PBSA around the bus Station and this site.

In light of the above it is concluded that this is an appropriate location for student accommodation, away from areas with a predominantly residential character, where they are surrounded by and contribute to a diverse mix of uses, in accordance with Policy BCAP4. In addition the other uses proposed as part of the development, namely private rented accommodation; essential worker accommodation; commercial uses and the public art offer / use of the chapel (A1, A3, D1 and D2 uses) overall positively contribute to this mix.

Will the development be detrimental to the residential amenity?

BCAP4 of the Bristol Central Area Plan (BCAP) is clear that specialist student housing schemes that contribute to the diversity of uses within the local area will be acceptable in Bristol City Centre unless it would create a harmful concentration of such housing in any given area. Policy DM2 of the SADMP defines, amongst other things, what a 'harmful concentration' might be in terms of its consequent impacts upon residential amenity and includes the requirement to assess such matters as the levels of activity that cause excessive noise and disturbance for residents; the levels of on – street parking that cannot be reasonably accommodated or regulated through parking control measures and inadequate storage for recycling / refuse and cycles. Whilst the issue of residential amenity is

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

considered in Key Issue E below the following is considered in terms of the specific policy issue for PBSA and policy DM2.

It is recognised that there would be an increase in footfall around the site due to the development and that whilst not in a high residential population immediately surrounding the site, both St James Priory residential accommodation and the hospital facilities are noise sensitive uses. It is not anticipated that the proposed development would cause unacceptable disturbance to neighbouring occupiers given the location in the city centre with high existing levels of background noise. It is recognised that the nature of the St James Priory site, which faces towards the application site, currently enjoys a degree of separation from the busy character of other parts of the city centre, however any development on this site beyond the previously very low level existing hospital accommodation blocks would have an impact on the relationship with this site and would be likely to result in increased footfall and activity around the site. The creation of an area of public space in this scheme with associated landscaping and a reduction in the scale of the development at the southern end, has alleviated this relationship to a certain extent. The PBSA would be managed, there would be a staff presence and security on site 24 hours a day as detailed within the submitted Student Housing Management Plan to avoid any noise issues or conflict with residential uses.

Free on street parking does not exist in this location, and resident/ controlled parking exists in neighbouring areas thereby restricting students from bringing cars to the city. There is adequate safe and secure cycle storage within the scheme and the refuse and recycling is accommodated and the servicing of such has been addressed. In terms of the character and visual appearance of the area, this is highly varied, not residential in character and therefore would be less sensitive to the physical change of development. Whilst further amenity issues are considered in Key Issue E it is considered that overall the proposals will not result in excessive noise and disturbance and is as such compliant with the requirements of policy DM2.

(C) HEIGHT/ SCALE AND MASSING/ ARCHITECTURAL TREATMENT / URBAN DESIGN CONSIDERATIONS**i) Policy Context**

The NPPF and NPPG identify good design as a key aspect of sustainable development and establish the importance of local distinctiveness. Development should seek to promote character in townscape and landscape by responding to and reinforcing locally distinctive patterns of development, local man-made and natural heritage and culture, while not preventing or discouraging appropriate innovation.

The Bristol Core Strategy contains a number of policies relating to design that require development in the city centre to be of the highest standard in terms of appearance, function, conservation of heritage assets, sustainability and maintaining and enhancing green infrastructure and protecting key views (BCS2). In particular policy BCS21 'Quality Urban Design' requires development to deliver high quality urban design that contributes positively to an area's character and identity, through creating or reinforcing local distinctiveness. Policy DM26 'Local Character and Distinctiveness' further reinforces the importance of local character and distinctiveness; it lists a number of general design principles that contribute towards this. Also material to assessing the design of the proposal are policies DM27 'Layout and Form' which requires development to have a quality urban design that results in healthy, safe and sustainable places; DM28 'Public Realm' which requires that development creates or contributes to safe, attractive, high quality, inclusive and legible public realm that contributes positively to local character and identity and DM29 'Design of New Buildings' which requires new buildings to be

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

designed to a high standard, setting criteria to assist in achieving this. Overall both local policy and national guidance (section 12 of the NPPF) recognises the importance of good design meaning development will not be permitted where it would be harmful to the local character and distinctiveness

Finally, the Bristol Central Area Plan (BCAP) contains specific policies relating to this area or 'neighbourhood' within the city centre. The site lies within St Michael's neighbourhood (as identified within the BCAP) where development should protect the area's historic assets and respond strongly to the area's topography through its design; preserving or enhancing local and long distance views respecting the dominance within the townscape and skyline of existing historic landmarks. A flexible approach will be taken to the redevelopment of sites within the university and hospital precincts, although higher standards of urban design will continue to be sought. Opportunities should be taken to improve the public realm and accessibility. The design of new development should take account of the distinctive scale and character of the key historic streets with the neighbourhood.

The applications amongst other things were accompanied by a Design and Access Statement (Aug 2019) which explain in detail the underlying design rationale with regard to the approach to the impacts upon the conservation area, historic buildings, layout, massing and materials.

ii) Massing, layout and building design.

Essentially the design should aim to conform to the prevailing city scale and in this case the existing **massing** of the former BRI building and the Chapel has informed the scheme as has the massing of St James Priory and the open nature of its forecourt. Coupled with the consideration of the topography of the site in general terms the new build elements of the scheme steps down from the top of the site from 7 storeys adjacent to the Old BRI to 4 storeys opposite the Priory. The east and west wing elements along Lower Maudlin and Whitsun on Streets are 6 storeys. Throughout the pre application and application process officers have been satisfied that the scale and massing of the proposals are acceptable and sit comfortably within this sensitive context.

In terms of **layout** this should aim to reinforce the alignment of existing street frontages characteristic of the proper definition of urban blocks within the city centre. The development achieves this given that it is essentially a perimeter block development; which addresses the street frontages of Marlborough Street, Lower Maudlin Street and Whitsun Street. There has been concern that the student accommodation block C fronting Whitsun Street culminates in the excessive obstruction of the primary south façade of the Chapel. The applicants submitted a Chapel Massing Study in order to explore the options for addressing this issue. Officers are of the view that given this submission and the consequences of any revisions in this regard, that the proposed arrangement is a reasonable compromise. The impact upon the heritage asset in particular is addressed in Key Issue below.

The area suffers currently from limited and unattractive public realm that results in a poor pedestrian environment and significantly reduces the opportunity for walking and cycle movements. This is particularly problematic given the proximity of hospital uses and the bus station which generate high levels of traffic and movement, as well as the role of Marlborough Street as a corridor for through traffic. The proposed scheme addresses this issue and provides significant improvement to the **public realm**; an improvement of the public experience in and around the site. This culminates in the widening of and improvement to the pavements and cycleways around the site as well as the creation of new through routes along Earl Street and West Street which will be maintained for cycle and access 24 hrs a day. The new public square, to be accessed from Earl Street and the new area of public realm at the southern end of the site provides a significant contribution to this provision.

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

Generous areas of planting and a water feature enhances the blue and green infrastructure. Semi private space (for use of all residents) is provided within all elements of the scheme, the students will benefit from a private landscaped quadrangle enclosed by the accommodation and the former BRI residents have a secluded garden to the rear of the building. The development thus provides sufficient private open space and satisfies the required provision within the Urban Living SPD; the public square is in addition to this requirement and will also accommodate the playable provision.

The principal access to the residential flats in the former BRI is from the historic entrance from Marlborough Street. In order for this to be more accessible amendments have been agreed which include the careful positioning of a ramp behind the front railings; the further details of which will be conditioned on any permission. This amendment has been welcomed by officers. The flats are also accessed via the rear residential garden off Lower Maudlin Street or through the undercroft from the accessible car parking spaces and cycle store. Concern was raised with regard to the latter access which is a “tunneled” entrance but with further careful designing (softening and lighting) and some recent amendments which have widened this in part, this entrance is considered acceptable. Further details will be required by condition.

There is a principal entrance for the student accommodation at the southern end of the site accessed from the new public terrace. There is a secondary access on Upper Maudlin Street which is primarily for cyclists but will also be used by students on foot. This entrance serves to animate further the street frontage; to establish activity and help reinforce an appropriate streetscape.

The Design and Access Statement provides in detail the rationale for the approach taken with regard to the building design / architectural treatment. It has been an iterative and collaborative process throughout both the pre application and application process with officers of the Authority, principally the City Design Group.

Essentially there has been agreement on the approach taken to the locally listed former BRI building and the Chapel, subject to a number of amendments which are described in the subsequently submitted Addendum to the Design and Access Statement. In terms of the former BRI building these relate to the further consideration of the rooftop additions which were initially considered to be too bold and distract attention away from the heritage assets of the building itself and the site and locality as a whole. The amendments retain where possible the parapet of the building and propose the use of natural zinc standing seam which will blend in with the tone of the existing slate; retaining an element of modernity with regard to the square windows. In terms of the Chapel the main revisions relate to the “handing” of the stair and lift to better reveal the heritage assets.

With regard to the new build element, the PBSA, the key changes have related to the re design of the Lower Maudlin Street elevation to pay homage to the Georgian proportions of the surrounding buildings (Blocks A and B); additional brick to the base of the West elevation; a set back between the retail unit and the common room at ground floor to avoid a pinch point at the pavement; and increase in the size and visibility of the entrance to Block A and increased glazing to the rear of the commercial unit (Block E). Further information regarding the cross sectional detailing has been submitted which satisfies officers at this stage but will be further considered at the discharge of condition stage. In terms of materiality the CDG raised some issue regarding the appropriateness of some of the materials, in terms of brick type and colour. Further discussion is required here and as such will be the subject of a planning condition requiring sample panels of all architectural materials to be approved prior to implementation.

iii) Landscape Design and Planting Strategy

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

In support of the submission was a Landscape Document for Planning – Nov 2019 which provides an approach to landscaping of the site, a landscape strategy for all of the elements of the site. As well as hard and soft landscaping details it provides clarity on the species of trees and a planting strategy which is to include nature rich varieties. The plan has developed as a result of discussions with officers and in particular the City Design Team with respect of Landscape Architecture. Conditions would be imposed on any permission to secure these details. In addition a clear and robust lighting strategy remains to be addressed and will also be secured by condition.

iv) Public Art

Policy BCS21 states that major developments should deliver high quality design including the delivery of public art. Given the scale of the proposed scheme as well as the use and location there is an expectation that public art will play a significant role in the design of the scheme, helping to articulate the buildings and animate the public realm.

In replacement of commissioning an artwork, the Public Art provision for this scheme has the potential to respond to this unique opportunity to address the critical loss of cultural and creative space in the city by securing, providing access to, and use of, an arts and culture community hub for Bristol citizens. It is anticipated that the Grade II listed Chapel building can be secured for this use as the developer's public art contribution. At the time of writing this report the details of this arrangement were still being explored but ultimately the space could be offered at a discounted or peppercorn rent for an agreed period of time to a non-for-profit local community arts organisation (The Cultural Tenant) to occupy and manage. The Cultural Tenant is to be appointed via an open procurement process managed by the developer and the local authority. The applicants are in agreement in principle to this approach. Alternative public art provision will be secured via the s. 106 Agreement should this option not be made available.

D) WOULD THE PROPOSED DEVELOPMENT PRESERVE THE SPECIAL INTEREST OF DESIGNATED AND, NON DESIGNATED HERITAGE ASSETS.**i) Policy Context**

A 'heritage asset' is defined in the NPPF (Annex2: Glossary) as "A building, monument, site, place, area or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest.. It includes designated heritage assets and assets identified by the local planning authority (including local listing)" 'Significance' is defined (also in Annex 2) as "the value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting."

Any decisions relating to listed buildings and their settings and conservation areas must address the statutory considerations of the Planning (Listed Buildings and Conservation Areas) Act 1990 (in particular sections 16, 66 and 72) as well as satisfying the relevant policies within the National Planning Policy Framework and the adopted Development Plan.

Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 states that in considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. The Authority is also required (under Section 72 of the Planning (Listed Buildings and Conservation

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

Areas) Act 1990) to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area. The case of R (Forge Field Society) v Sevenoaks DC [2014] EWHC 1895 (Admin) ("Forge Field") has made it clear where there is harm to a listed building or a conservation area the decision maker "must give that harm considerable importance and weight." [48].

Section 16 of the national guidance within the National Planning Policy Framework (NPPF) 2019 provides guidance in terms of Conserving and enhancing the historic environment and at paras 193 advises how to consider potential impacts. Para 196 states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including, where appropriate, securing its optimum viable use. Para 197 addresses the issue of non – designated heritage assets, where a "balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset".

The Setting of a heritage asset is defined within the NPPF (Annex 2) as "The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, and may affect the ability to appreciate that significance or may be neutral."

In addition, the adopted Bristol Core Strategy 2011, within Local Policy BCS22 of the Bristol Core Strategy (BCS) states that "Development will safeguard or enhance heritage assets and the character and setting of areas of acknowledged importance including historic buildings both nationally and locally listed... and conservation areas." Policy DM31 of the SADMP requires that "proposals affecting locally important heritage assets should insure they are conserved having regard to their significance and the degree of harm or loss of significance". Furthermore there is a requirement that "*development proposals that would affect heritage assets will be expected to demonstrate, by way of a thorough understanding of the significance of the asset, how any change proposed would conserve and, where appropriate, enhance that significance*".

The NPPF divides heritage assets into two categories: designated heritage assets and non – designated heritage assets. The heritage assets relevant to this site can be summarised as follows:-

Designated Heritage Assets	Non – designated Heritage Assets
Listed Buildings	
The Chapel (Grade II)	
Church of St James, Whitson Street (Grade 1)	Old BRI building (Local List ref. 225)
Church House, Whitson Street (Grade II*)	King Edward VII Memorial Wing (Local List ref:224)
Churchyard walls and gates (Grade II)	
Listed walls and railings, Whitson St (Grade II)	
The White Hart Inn, Lower Maudlin Street (Grade II)	
Bristol Eye Hospital, Lower Maudlin Street (Grade II)	
7, Bridewell Street, (Grade II)	
Former Fire and Police Stations, Silver	

Development Control Committee B – 18 December 2019

Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW

Street (Grade II)	
Conservation Areas	
St James's Parade Conservation Area	
Kingsdown - adjacent	
St Michaels Hill and Christmas Steps – adjacent	

ii) The Impacts

A Heritage and Townscape Visual Impact Assessment Sept 2019 was submitted in support of the proposals. As part of this assessment the location of viewpoints were agreed with Officers during the pre- application discussions.

The conclusions of the City Design Group can be found at the beginning of the report and the full detailed commentary is to be found on – line. During the pre- application and application process there has been continual dialogue with the applicants and as a result a number of amendments have been made to the original scheme. Overall officers are of the view that the impacts in terms of heritage assets range from moderate less than substantial harm to negligible impacts.

Briefly and having regard to each asset the following is considered.

The Chapel – “The chapel is a significant mid nineteenth century building and a good example of the work of SC Fripp. The exterior of the chapel wing has been little altered and the interior displays Gothic decoration that ties in with the external decorations. It has group value with the C18 Eye Hospital on Lower Maudlin Street (grade II), the Church of St James Priory (Grade I) and the listed buildings at the lower end of Whitson Street. It is an early example of a regional purpose-built infirmary hospital chapel; it contains memorials to army and medical officers who died in the course of their duty, including those who fell in the First World War, Boer War and The Mahdist War.

The Listed chapel building will be retained, and brought back into a beneficial new use. There will be heritage gain in the removal of later disfiguring additions and the better revealing of the chapel's significance. There is a degree of harm in the breaking of the physical link to the hospital building, but this would remove fabric of less value to both assets and has the potential to provide public benefits in the improved access onto the site and around the historic structures.

The restoration of the exterior of the chapel is fully supported subject to detailed design and conditions. The opening up of a new door in the SW elevation is of limited harm, but the close proximity of the new courtyard podium deck to the chapel wall robs it of some of its landmark character when viewed from within the site or from the SE. Views from the SE will largely be lost and this is regrettable, but the enjoyment of the building from closer quarters within the site is some compensation.

Internally the lower floors of the chapel are devoid of heritage value, the space having been long subdivided from its original two-storey museum room. The chapel is Spartan, with significance mainly in the retained memorials on the walls, the stained glass lancet windows, tracery east window, and small carved stone niches. The volume is otherwise a plain box with an unexceptional plaster roof relieved only with ornamental ceiling roses. Following amendments the proposed new stair into the rear of this space will be against the back wall of the chapel and, subject to protection and revealing of

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

the stained glass and memorials is now acceptable. The full height partition for the stair lobby is of concern, this could potentially detract from the proportions and special character of the interior and as such a pre commencement condition is recommended in order to ensure that through design and further detailing this is not the case.

The Conservation Officer is of the view that the proximity of the proposed new student block to the south –eastern façade of the chapel is considered harmful. It will obstruct the landmark character and architectural crescendo of the tracery window and “be overbearing having therefore a significant harmful impact on the setting of the chapel and its legibility from the SW, entrance to the Coach Station, and from the parvise of the Grade I Listed St James’s church. This has been considered to be a key failure in conservation-led design and strongly detracts from the positive aspects of its reuse and restoration”.

Options for addressing this issue were explored by the applicants through the Chapel Massing Study, subsequently submitted. The study showed that a total of some 7 units of each floor would have to be removed in order to better reveal this elevation. This accommodation would be required to be found elsewhere on the site given likely viability issues and would in itself result in other harmful impacts which would need to be weighed in the balance. In addition it must be recognised and as the Study points out that overall, securing a new use for the Chapel and improving its setting from the new public square as well as the other wider heritage benefits of the scheme should be taken into consideration. Planning officers are of the view that the ultimately the proposed arrangement is considered to be a reasonable compromise in this instance.

St James’s Church and Church House

The Church of St James Priory sits within the St James’s Parade Conservation Area, a building of exceptional interest and a focal building within the conservation area; a landmark as such. St James’s church is Bristol’s oldest standing building, and is of extremely high significance historically, architecturally, culturally, and aesthetically; a significance recognised by the Grade I Listed status and as such the most sensitive of the adjacent assets to change.

Church House is immediately adjacent to the church and connected to its north side. It is a building mainly of the C17th, but incorporates elements of an earlier, monastic, date. The boundary walls and gate piers accessing the parvise from Whitson Street, immediately opposite the development site, are Grade II Listed in their own right.

The development site is in very close proximity to this asset across the narrow width of Whitson Street. The proposed four-storey element of the designs, immediately facing the entrance to the church, is relatively subservient in scale when viewed from the west door of the church and parvise. The façade will now be a subservient background feature in these views.

When viewed southwards down Whitson Street the gables of the west end of the church and the Church House are prominent. Whilst it is recognised that the erection of a six storey building will change the view the conservation officer considers that given the scale and architecture “they remain subservient in these aligned views”. The Conservation Officer raises concern with regard to the obstruction of the views of the church tower from Lower Maudlin Street which would “harm the landmark value of the church and its setting”. It must however be recognised that this scenario is a

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

likely impact should this currently open site be redeveloped. Overall the level of harm to the setting of St James's Church and Church House is considered to be negligible.

The White Hart Inn

The Grade II White Hart Inn is a Seventeenth Century building of two and two and a half storeys that terminates the west end of the Conservation Area and is just 10m across the road from the site at its southern extremity. Broadly vernacular in style it is domestic in both scale and character. As defined by the Listing of the former BRI Chapel this site has group value with that building, and also with the higher status C18th properties of the Bristol Eye Hospital a short distance up the road.

The proposed new buildings face directly onto the White Hart across a new hard-surfaced public space. The four-storey elevation has a strong horizontal emphasis, but is now broken up with vertical feature elements, The Conservation Officer considers this new backdrop to the Listed building is contrasting, "but not overly dominant in an urban setting" and that the impact is negligible.

Lower Maudlin Street – The Bristol Eye Hospital

The Grade II Listed portion of the Bristol Eye Hospital is formed of two early C18th brick buildings, each of three storeys with dormer attic, and that face directly onto the site from the west side of Lower Maudlin Street. As with the White Hart, the impact of the proposals relates more to the group value and this is discussed below.

The three storey buildings will sit immediately opposite proposed six and seven storey sections of the development, and a service access road. The Conservation Officer is of the view that the scale of six storeys "risks being overbearing on the historic assets opposite" but that the pallet of materials, brick and stone, go some way to ensuring that the proposed building fits into its context". Further design development has been on going in order to improve this relationship at the time of writing this report. The harm here is described as the low end of less than substantial harm.

St James' Parade Conservation Area

The character and appearance of the conservation area is well detailed in the report of the Conservation Officer as well as within the Heritage Assessment submitted by the applicants.

It is agreed that the focus of the conservation area is the Grade I church which includes part of the medieval precinct associated with the Priory church; the church tower being the most notable landmark within the CA. Overall the southern part is characterised by the church yard and green park space with mature plane trees and stone boundary walls; the northern portion covers the former Hospital buildings and the listed eye hospital buildings, a significant collection of important hospital buildings. Essentially the mass and the form of the infirmary buildings contrast with the historic cluster at the southern end of Whitson Street and the current unattractive void is unsightly and makes a negative contribution to the local character as identified in the Conservation Area Boundary Review.

In assessing the impact on the CA the impact of the proposals and whether they preserve or enhance the special character must be assessed. In assessing this the conservation officer advises that the proposals would result in Moderate Less than Substantial harm. He advises that " character is definable in the materials and architectural treatment of the existing buildings of importance, but the

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

proposals choose only to reinterpret that character on a limited scale. Proposed materials and elevations to the development as a whole do not preserve the special character as defined, and the infilling of the original open setting of the hospital also fails to better reveal the heritage significance of the hospital and chapel; Proposals need then to ensure a tangible enhancement to the special character. Whilst there are features that are well detailed and appropriately proportioned, particularly facing the White Hart, the street elevations still fail to provide an exemplary design response to the special character the CA is set up to preserve. Whilst the massing and scale are new they are justified in bringing the site into an optimum viable use, but the design quality of proposed elevations falls short of the expected standard and quality". At the time of writing officers are further considering the design details of the new build elements in order to mitigate some of the harm identified. Overall the conservation officer concludes that in terms of harm, this is moderate less than substantial harm.

Locally Listed Asset – the former BRI Building

The Bristol Royal Infirmary is one of the earliest hospitals founded in the country outside of London (1736) though the Old Building on the site dates from a later period (1784-1814) by architect Thomas Paty. It is Bristol's largest single Georgian building, and has considerable historic and evidential value. The Old BRI building is fundamental to the setting of the Grade II Listed chapel and is a landmark building within the Conservation Area. The original Eighteenth century structure remains at the core of the hospital, but and has accrued a number of later Victorian additions which, arguably, have less significance to the main structure. The significance of the Old BRI building lies in the H-form plan of the original building, the spine corridor and staircase arrangement, the survival of C18th and early C19th fabric internally, and the contribution its scale, material and character give to the Conservation Area. It is proposed to now retain the majority of the historic hospital, preserve the key aspects of the internal arrangement, seek to reveal and restore historic features both internally and externally.

Discussions have been held regarding the treatment of the roof relating to retention of parapet walls and the design and materials of the replacement roof wings. With regard to the former a pre commencement condition is proposed to be placed on any permission which resolves the current treatment of the parapets which currently impact upon the symmetry and Georgian proportions of the building.

It is proposed to demolish the Hill Ward and concerns have been raised in this regard from the Victorian Society and the British Council for Archaeology in particular. The applicants submitted further information in order to explain the underlying rationale for the approach. The Conservation officer advises that "it is not the most significant feature on the site, and its value is principally the contribution to the special character of the Conservation Area through materiality and shared architectural vocabulary. Considering the proposals in the round we must be convinced that proposals would either preserve or enhance the special character of the CA, and there is much to recommend the care now being paid to the more important original Georgian building. Overall the proposed approach to the locally listed building is a positive one, but benefit is tempered by this palpable loss" but ultimately results in the low end of less than substantial harm.

Setting and Group Value

The listing description for the Chapel makes clear that part of the building's significance lies in the group value with Grade II Listed Bristol Eye Hospital, Grade I Listed St James' Church, and the other

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

Grade II Listed assets to the south. At the current time there are clear visual connections between these buildings that cross through the Conservation Area and the site within it. This value is further enhanced by the locally listed former BRI building.

The development of this site will to a degree inevitably lead to a loss of some of these clear lines of sight; it is in officers view an unavoidable conflict in the development of what is currently an open site. Whilst the design and massing of the proposals might help mitigate any harm, the current visual connections between them would be lost to a new, more densely urban, setting, in which a number of the heritage assets are now experienced in isolation. The conservation officer concludes that this will lead to a low end of less than substantial harm.

Archaeology

The site has a great deal of archaeological interest as indicated in the St James Parade Conservation Area Character Appraisal and other references. Historically at least part of the site lay within the precinct of the Priory of St James that was founded in the 12th century. After the dissolution of the monasteries in the 16th century the area fell to private hands and was developed for housing and industrial uses that included an early sugar refinery. The infirmary itself was originally established in the mid-18th century on land immediately to the north of the former priory precinct.

Elements of all these former uses are likely to survive on the site. Of particular importance will be; any evidence relating to the priory use of the site; any remains of the early post-medieval uses including the sugar refinery and evidence relating to the development of the infirmary.

As a result of this archaeological interest, a programme of archaeological evaluation trenching has been implemented by the applicant to enable a thorough assessment of the potential impacts to the archaeological significance of the site. This has identified relatively well preserved remains relating to the 16th-18th century developments on the site including former tenements and foundations relating to the sugar refinery.

It was agreed with the archaeological contractor during this process that these remains were of local – regional importance and that consequently, should the development receive consent, a programme of archaeological works would be required to ensure that these remains were suitably recorded.

In light of this advice the applicant instructed the archaeological contractor to undertake an extensive excavation in accordance with an agreed Written Scheme of Investigation (version 3). This fieldwork to record all the archaeology that will be impacted by the proposed development is ongoing, although it will be necessary to ensure the completion and publication of the results of this fieldwork through a suitably worded pre-occupation attached to any planning consent.

iii) Conclusion

There has been detailed assessment of the heritage assets as part of the application and an approach taken to the site which recognises and conserves the most significant heritage assets.

The site is within the setting of number of nationally protected elements including the Grade I Listed church and Grade II* Listed Church House, four Grade II Listed structures, and within the Conservation Area; this ensemble is therefore of extremely high significance, as defined by the NPPF, and is vulnerable to insensitive change. It states further that “as heritage assets are irreplaceable, any

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

harm or loss should require clear and convincing justification”. This is not limited to designated heritage assets, but covers non-designated assets.

There are a number of elements of the proposals that are considered to result in a degree of less than substantial harm, particularly with regard to the demolition of the Hill Ward and the obstruction of some of the key parts of the chapel. The materiality and detail of the new build elements is also questioned and design refinement is the subject of on – going discussion. That said the proposals will go a long way to better revealing the significance of the locally listed former BRI (by reversing later disfigurements and restoring important features) and the grade II listed Chapel and provide viable new uses for both buildings..

Where harm and the justification for that harm exists then the Local Planning Authority should consider tangible public benefits of the development in the planning balance and this planning balance is provided in the overall conclusion of this report. In considering the scale of the benefits against the harm posed to heritage assets, and ensuring that the required level of great weight is placed in conservation, the CDG concur with this balance and conclude that “there is adequate public benefit that can offset the harm posed”.

E) THE SUSTAINABILITY CREDENTIALS OF THE PROPOSALS**i) Policy Context**

The NPPF 2012 advocates the importance of sustainable development and highlights the need for a transition to a low carbon future and in tackling climate change throughout the document requires Local Planning Authorities to achieve the economic, social and environmental dimensions of sustainable development. Section 14 specifically looks at meeting the challenge of climate change and flooding. Further to the NPPF, the adopted Bristol City Council Core Strategy 2011 has a strong emphasis for development to address climate change through appropriate mitigation measures. Policies BCS13-16 has significantly increased the requirements placed upon applicants in respect of both the information required to support applications and the sustainability credentials of the schemes themselves. They require new development to be designed to mitigate and adapt to climate change and meet targets to reduce carbon dioxide emissions. This should be achieved, amongst other measures, through efficient building design, the provision of on-site renewable energy generation to reduce carbon dioxide emissions by at least 20% based on the projected residual energy demand of new buildings and extensions to existing buildings, and for new development to mitigate against the risk of flooding.

Submitted with the application was an Energy Strategy (August 2019) and an Overheating Assessment Report. During the course of the application a further document was submitted to further justify the use of electric panel heaters in the purpose built student accommodation. Further discussions have taken place between parties since the submission of these documents and as a result these will need to be updated prior to the commencement of the development should permission be granted.

Overall the scheme performs well in terms of its sustainable credentials in terms of the energy efficiencies and the air permeability of the fabric of both the new and refurbished buildings. Conditions are required to secure a number of these elements, including the roof mounted PV panels in terms of renewables.

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

It has been agreed that space heating and domestic hot water in the 62 residential flats will be provided via the **district heat network**. Hot water in the student accommodation will also be provided via the heat network, to be secured by a s. 106 Agreement. This has been the main and most significant amendment to the scheme. It is with regret that the applicants are however proposing that the space heating in the 416 student rooms will be provided via electric panel heaters (resistive heating), which does not comply with policy BCS14, a requirement that has been made clear throughout the planning process for this application. Having reviewed the additional information provided as justification for the use of electric heating the Sustainability team continue to raise concerns in this regard and on this basis do not support the proposals.

F) IMPACT UPON THE AMENITIES OF EXISTING AND FUTURE OCCUPIERS.

In delivering high quality urban design new development should safeguard the amenity of existing development and its occupiers and create a high-quality environment for future occupiers, which is also safe, healthy and useable (Policy BCS21 refers). Policy BCS23 of the Core Strategy addresses the issue of different forms of pollution, including noise and air pollution. Policy DM33 is clear that development will not be permitted if mitigation cannot be provided to an appropriate standard with regard to air quality amongst other things.

The site is set within a tight urban context and typically surrounded by a mixture of uses. Given the scale of the development proposed, the following issues must be given due consideration and weighed in the balance, when assessing the development proposals: – the impact of the proposals upon daylight / sunlight; overshadowing; whether the development would be overbearing on adjoining occupiers and / or create unacceptable levels of overlooking; whether the layout provides for an environment which feels safe; the nature and space of the residential units being created; addressing any issues of noise and disturbance. Taking these factors into account the following assessment has been made, firstly with regard to existing occupiers / premises and secondly the impact upon future occupiers.

i) Existing Neighbouring Occupiers

Daylight / Sunlight and Overshadowing– The applicants commissioned a Daylight, Sunlight and Overshadowing Report August 2019 using the published guidelines of the Building Research Establishments Report 209, Site layout planning for daylight and sunlight – A guide to good practice” and the Professional Guidance Note ‘Daylighting and sunlighting (1st Edition, 2012. Regard has also been had to the Authorities Urban Living SPD. These reports have examined, through established methodology, the impact of the development upon the levels of daylight and sunlight that both existing and future residents will receive and also the degree of shadowing that will occur. It is important to note that the advice contained within the BRE Report is guidance only, it is not mandatory and that ultimately there is a degree of judgement to be made and consideration of neighbourliness.

The report has assessed the second floor flat within St James Church House; the upper floor of the White Hart Public House; the listed St James Almshouses and Walsingham House Hostel. The daylight assessments demonstrate that the majority of neighbouring residential rooms generally retain levels of daylight in excess of the guidelines with 4 (out of 27 habitable rooms assessed) isolated transgressions at the Almshouse. It is also noted that these transgressions comfortably comply with the supplementary ADF test. The BRE Guide recognises in paragraph 2.3.1 that by building too close to the boundary can hinder the future development potential for adjacent sites. In such circumstances the BRE also permits an analysis of an ‘*imaginary mirror image*’ which is intended to demonstrate that

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

the findings of the results are such that it is more the close proximity of the neighbour being the primary reason for the infringements than as a result of the over development of the site itself.

The results of this alternative hypothetical assessment demonstrate that if there was something of equal massing on site in the existing scenario that all rooms within the Almshouse would comfortably comply with the guidelines. This demonstrates that it is more as a result of the close proximity and underdeveloped nature of the site being the main reason for these transgressions occurring. The sunlight assessments demonstrate full compliance for all windows considered facing 90° of due south. The sunlight to amenity spaces demonstrates that 3 of the 7 proposed spaces would satisfy the BRE guidelines for March 21st; one it is advised is “just shy of the benchmark”. The spaces are essentially enclosed on all sides which inevitably inhibits the direct access of direct sun on the ground.

It concludes that the neighbouring buildings which have been assessed should continue to receive satisfactory levels of daylight and sunlight amenity and that in the few instances where this is not the case the results are regarded as being close to guideline levels. Officers are satisfied with these conclusions.

Overshadowing / Overlooking and Overbearing - The relationship of the proposed development with St James Priory has always been carefully considered in the assessment of development proposals on this site. As members will see from the planning history this issue culminated in a reason for refusal on the scheme considered in 2016 (16/01888/F) but conversely was considered to have been sufficiently resolved in a later scheme 2017 (17/02413/F).

The current scheme has again attracted concern from the residents and operators of St James Priory and officers have met with the representatives of the premises and negotiated a number of changes to the scheme with the applicants in order to mitigate any impacts. These amendments comprise the removal of the originally proposed lay by opposite; the inclusion of additional planting within the intervening area of public realm; an increase in the range of acceptable uses for the commercial unit at the southern to include uses other than A1 retail, such as A2, B1, D1 and D2 uses. In terms of the management of the student accommodation the applicants state that within the submitted Student Management Plan that “the site will have a 24 hour presence on site with management and security staff monitoring entrances and courtyard levels at various time during the day and night” Officers note that there is also proposed to be a CCTV system will be in operation.

With regard to the commercial unit in particular there was an understandable concern related to the potential sale of alcohol given the drug rehabilitation work of the Priory and the vulnerabilities of its residents. Whilst the applicants suggest the imposition of a condition to prohibit the sale of alcohol this is not considered by your officers to be within the remit planning system but rather a licencing issue. Officers are advised by the Licencing Team that should a licence be applied for and local businesses, residents or other organisations etc. in the area make representations it would be likely that a licensing hearing would be held and the licensing committee will decide whether the licence should be granted or not or suitable conditions placed on the licence. This can also be subject to review any issues are caused as a result.

In light of the above and coupled with the reduced scale of the development at this southern end of the site and the internal layout at the upper floors fronting the Priory, any subsequent impacts in terms of unacceptable overlooking or the development being unacceptably over bearing has been avoided.

With regard to the other relationships between the existing and proposed developments on Marlborough Street, Lower Maudlin Street and the upper end of Whitson Street, these are all considered acceptable given the nature of the uses (existing and proposed) and typical of a city centre relationship.

ii)Future Occupiers

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

Space Standards – Almost all (bar 1) of the 62 residential properties within the converted former BRI building meet the Nationally Described space standards and are in fact particularly generous in some cases given the need to work within the constraints of H plan of the building. Within the Old BRI, two thirds of the flats are single aspect; those in the east and west wings enjoy windows on all three external sides. Given the nature of the existing historic fabric and the desire to keep the original corridor / accommodation proportions, it has not been possible to provide dual aspect flats in the central wing. That said, these flats are generously sized, have sensible layouts and enjoy significant floor to ceiling heights with large windows to maximise the enjoyment of the living spaces. In addition, to the rear of the building the aspect is predominately green, looking over the new landscaped terracing rising up to the square. Student uses are not required to meet these standards given that they are regarded as temporary uses.

In terms of Accessibility the applicants have endeavoured to make all the flats accessible incorporating the guidance in M4 (2) of accessible and adaptable dwellings. Two 2 bedroomed flats are wheelchair M4 (3) compliant, all of which is above the current 2% requirement – policy DM4 refers. Two accessible units are to be provided for the student accommodation.

Sufficient outdoor space and children's playspace in accordance with SPD on Urban Living is provided. Public realm provided provides for a high quality open space within the development for the benefit of all residents to be shared with members of the public.

Outlook - While the outlook from some of the student bedrooms would be limited this is considered acceptable given the urban context and to an extent the temporary nature of the accommodation.

Noise - An Acoustic Assessment Report dated 28th August 2019 was submitted in support of the application proposals. Officers are satisfied with the monitoring that was carried out and the specifications proposed as detailed within Appendix B. With the appropriate conditions attached to any permission the impacts of noise can be addressed and satisfactorily mitigated for all residents.

Air Quality – An Air Quality Assessment was submitted in support of the application. There are no objections to the scheme subject to a condition which prevents the opening of windows up to and including the third floor level given the high levels of NO₂ at the current time.

Broadband Connectivity - A Broadband Connectivity Statement was submitted with the application which confirms that superfast and ultrafast broadband is available in this location and that the development proposals will provide the necessary duct infrastructure to facilitate the installation for one or more service providers in accordance with policy BCS 15.

(G) TRANSPORT AND MOVEMENT CONSIDERATIONS

i) Policy Context - The NPPF at Section 9 address the issue of promoting sustainable transport. Policy BCS10 sets out the development principles that proposals will be determined against and expects schemes to be designed to reflect the transport user priorities, namely pedestrians, cyclists and public transport, commercial vehicles, short stay visitors by car and then the private car in that order. It also requires the needs of disabled people to be considered within all of the above headings. Amongst other things this policy requires development proposals to be located where sustainable travel patterns can be achieved, with more intensive, higher density mixed use development at accessible centres and along or close to main public transport routes. Proposals should minimise the need to travel, especially by private car, and maximise opportunities for the use of walking, cycling and public transport. This accords with the advice contained within the NPPF which recognises the

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

contribution transport policies have in facilitating sustainable development and also in contributing to the wider sustainability and health objectives.

The site is in a sustainable location that in principle in highway terms is considered to be acceptable for an intensive mixed use development such as this, as it would concentrate development close to public transport hubs, services and facilities in accordance with Policy BCS20 of the Core Strategy. Policies BCS10, DM23 and DM27 are relevant and referenced below.

Trip Generation - The proposal is virtually car free. There will be servicing vehicle movements and there are 4 disabled parking spaces proposed. This low provision is welcomed; there is not sufficient capacity on the highway network to accommodate additional traffic. Vehicular trips will be reduced to less than the extant permission, which had a small car park and regular movements in and out of the site.

Traffic Impact and Mitigation - Policy BCAP30 states that Development on or adjacent to primary and secondary pedestrian routes will be expected to provide an appropriate and proportionate level of public realm improvements to the route. The lack of adequate footways in place at present is a safety concern and would be inadequate to serve a car-free development of this size. In view of this, the applicants have set back their building line around the site, to provide widened footways and maintain the contraflow cycle lane in Lower Maudlin Street. The extents of the works are briefly outlined below:

Lower Maudlin Street - Due to the significant increase pedestrians associated with the use, the footway is to be increased to a minimum of 3 metres and varies beyond this down its length. The contraflow cycle lane is proposed (minimum of 1.5m), and is to be provided for on a 'stepped' cycle track (segregated from the carriageway by a full height kerb and segregated from the adjacent footway by a cycle kerb).

The carriageway width needs to be adjusted to prevent northbound cyclists on the carriageway being dangerously overtaken by passing vehicles. Therefore the road is to be narrowed to 3.1m. This arrangement will require the road to be reconstructed to prevent rutting of the carriageway from larger vehicles, as this would be likely on a carriageway of this width.

Parking bays on the side of the Dental and Eye Hospitals will be widened to 2.5m to allow for buses to overtake parked cars and ambulances without doors and alighting passengers / drivers being harmed. Some car parking spaces will be lost as a consequence and the applicants have agreed to pay compensation for the lost revenue here, to be secured through a s106 agreement, calculated at the time of writing to be a loss of 6 bays valued at £16,311.63.

Waiting restrictions will need to be changed, through the alterations to the Controlled Parking Zone Traffic Regulation Order. The fee for altering a TRO will be secured through a s106 contribution.

The existing zebra crossing will need to be relocated to allow for the new access road. A buildout to allow for visibility crossing will be provided. The contraflow cyclists will be expected to give way at the zebra, as they do currently. The crossing relocation will require a Statutory Notice (similar to a TRO) and fees associated with this will be required and secured through the s106 to allow additional time to write and advertise the Order. The costs of each Order are currently £5724, and two would be required.

Whitson Street - Whitson Street currently accommodates 11 taxi waiting spaces and a taxi pick up bay. The pickup bay will be unaffected by the proposals. The presence of the new access road will

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

break the taxi rank. This is one of the busiest ranks in the City and it is essential that the same provision for waiting taxis is retained. The displaced taxis have been moved into a feeder rank in Earl Street, adjacent to the Magistrates Court. The applicants have discussed this proposal with Taxi representatives to confirm that this is acceptable.

The footway adjacent to the existing buildings would be widened; the new building lines set back to accommodate the additional pedestrian movement. A pinch point created by an earlier design for the building has been removed by setting back the lower floors of the building. This is welcomed and should be kept clear to allow appropriate pedestrian space and accessibility. The area will be well overlooked and will be adjacent to the taxi rank, which is in operation all of the time. The bus station exit has been tracked for a 15m coach, which is the largest vehicle currently leaving the bus station.

Marlborough Street - The applicants would be expected to refurbish the footway across frontage of the site to bring up to a City Centre appropriate standard.

Vehicular access - The proposals include a servicing access road which will be private, and maintained by the developer. This allows for access to the limited parking, cycle parking, refuse storage. This will operate in one way direction from east to west (Whitson Street to Lower Maudlin Street). Swept paths have been submitted showing that a refuse vehicle can access this adequately.

Pedestrian access - The main pedestrian access for the residential use will be from Marlborough Street. This is stepped and therefore not accessible to anyone with mobility impairments. The applicants have therefore made alterations to the original proposals to include a ramp from the frontage on Marlborough Hill which will significantly improve access for all users into the residential accommodation. Despite some of its limitations, the rear access is none the less welcomed insofar as it provides additional permeability to the site for the residents. Other pedestrian access would be from the widened footways surrounding the site.

Servicing – All waste and recycling for both student and residential elements will be privately collected. This is on the basis that they will access the internal road to service the development, this is not being offered for adoption through the proposed development. A condition will be imposed on any condition in terms of the submission of a Waste Management Strategy in this regard.

Cycle Access and Parking - Residential cycle parking access would be from the servicing route via a ramp. Sufficient cycle parking is provided for both residential and students. Short stay cycle parking is to be provided in locations within the footway – to be finalised and secured by condition.

Car Parking – There are 4 disabled parking spaces which would be managed by the site management company, available to students or residents. The parking is within the Council's car maximum parking standards. The site is within the Controlled Parking Zone and the Council is therefore able to enforce any dangerous overspill car parking. Residents will be ineligible for parking permits, which will ensure any pressure on-street is minimised.

Some on-street car parking will be removed as a result of the highway works. The applicants will be compensating the Council for the loss of revenue associated with this. This will be secured through a s106 agreement. The loss of these spaces in the vicinity of the hospitals is regrettable, given the pressure on on-street parking in the city centre. However, it is considered essential for the purposes of this development that there is adequate walking and cycling provision for safety reasons, and the parking could not be accommodated within this arrangement.

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

Alterations to the CPZ will be required and will be undertaken through the Traffic Regulation Order process. A contribution to make alterations to the TROs would be secured through the s106 as outlined above.

Construction Management – A Construction Management Plan is required for this site, which is to be secured via condition. This is particularly pertinent given the potential impact upon the bus station, taxi rank and hospitals.

Travel Plans – separate Travel Plans are required for both the residential and student elements and these are to be conditioned on any permission. A Management and Audit Fee is to be secured via aS106 agreement, which equates to £8, 781.

Student Drop Off – A Student Moving In / Moving Out Strategy was submitted with the application. In brief the strategy is to use the car parking spaces on the site at the start and end of the student term. Loading and unloading students will be booked into slots and will have to park elsewhere in public car parks until their slot is available. This approach is deemed acceptable by the TDM team and in line with other student developments in the city centre. A condition is required to secure this strategy.

(H) OTHER ENVIRONMENTAL ISSUES

Contamination – A Ground Investigation Report was submitted with the application (20th August 2019) in order to assess the ground conditions associated with the proposed development and provide recommendations for foundation design, contaminated land and waste soils.

There are no objections on the grounds of the above issues subject to conditions to secure compliance with the submitted and approved remediation scheme and contingency should any further contamination be found any time when carrying out the approved development.

Nature Conservation - Officers are satisfied that nature conservation considerations such as potential for roosting bats/ nesting birds and other protected wildlife have been addressed. A living roof has now been incorporated into the scheme as has a better variety of nature rich planting, all of which will be conditioned appropriately on any permission.

(I) PLANNING OBLIGATIONS/ HEADS OF TERMS

New development often creates a need for additional or improved community services and facilities, without which there could be a detrimental effect on local amenity and the quality of the environment. Planning obligations are the mechanism by which measures are secured to enhance the quality of both the development and the wider environment, to help ensure that the development makes a positive contribution to sustainable development providing social, economic and environmental benefits to the community as a whole.

The legislative framework for planning obligations is set out in Section 106 of the Town and Country Planning Act 1990 as amended by Section 12 of the 1991 Planning and Compensation Act. Further legislation is set out in the Community Infrastructure Levy CIL Regulations (2010) (as amended). The NPPF reiterates the tests (at para 56) that are required to be met when planning obligations are sought, namely that they should be necessary to make the development acceptable in planning terms; directly related to the development and, fairly and reasonably related in scale and kind to the development.

Supplementary Planning Document entitled 'Planning Obligations' (2012) sets out the Council's overall approach to planning obligations and the types of obligation that the Council may seek to

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

secure and complements BCS 11. With regard to this set of proposals the following obligations are required to be secured:-

- (i) Connection to the District Heat Network
- (ii) Management and Audit Fee for the 2 X Travel Plan (£8,781)
- (iii) 5 X Street Trees – appropriate financial contribution in accordance with SPD – Tree in hard standing (tree pit required) £3, 318.88 X 5 = 16,594.4
- (iv) Contributions for 2 x TROs – relocation of crossing and alterations to waiting and loading restrictions =- £5724 x 2 = £11, 448.
- (v) Car parking removal compensation -6 x £16,311.63 = 97,869.78
- (vi) Securing the option of the Public Art Offer within the Chapel as an Art and Cultural Hub
- (vii) 20% of the rental properties to be reserved for Essential Workers at a 20% market discount (to include servicing charges) on assured shorthold tenancy agreements.

With regard to (vii) above this is additional obligation offered by the applicants; one not required by development plan policy and as such should be given neutral weight in the consideration of the application. This is because the premises benefits from Vacant Building Credit which is a national policy to incentivise brownfield development on sites containing vacant buildings. Where a vacant building is brought back into any lawful use, or is demolished to be replaced by a new building, the developer should be offered a financial credit equivalent to the existing gross floorspace of relevant vacant buildings when any affordable housing contribution is calculated and sought. In light of the above and in this case therefore the proposals are not liable for any affordable housing, in this case affordable private rent.

M) COMMUNITY INFRASTRUCTURE LEVY (CIL)

The development will be liable for CIL, which is calculated to be £1,013,152.31 should consent be granted prior to January 1st or £1,074,263.08 post January 1st and pre 13th June 2020.

CONCLUSION

This is a mixed use scheme within a highly sustainable city centre location. Importantly and unlike previous schemes on this site, 62 homes will be provided which will make a contribution towards the housing delivery requirements of the city. The additional offer of essential worker accommodation will further satisfy housing need and is particularly relevant in this location given the close proximity of the University of Bristol and the Hospitals Trust. Members must only however give this neutral weight in the planning balance given it is not a policy requirement in this instance.

The provision of PBSA is considered acceptable within this city centre location, it does not compromise the diversity of uses with the area nor the overall housing mix and will address the needs of this sector which are still unfulfilled within the city. The development will be well managed and the operators in this case have the full endorsement of the University of Bristol; it is considered that this element of the overall development will not raise any particular amenity issues for existing adjoining occupiers.

Regard has been given to the impacts of the proposed development upon the operation and amenities of the occupiers of The Priory. It is considered that the by reason of the reduced scale of

Development Control Committee B – 18 December 2019**Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW**

the development at the southern end; the intervening public realm with associated landscaping; the design and layout and the sufficient control of potential uses in the commercial unit that any potential unacceptable impacts have been sufficiently mitigated.

As well as the economic benefits that students and occupiers of the 62 homes will bring to the city other uses proposed in the commercial unit and the Chapel will create new opportunities for employment and with regard to the Chapel, will at the same time potentially add to the cultural offer of the city.

In terms of the built form, officers have welcomed the heritage led approach to the development of this site which has led to the retention and sensitive conversion of the former BRI as well as the appropriate alterations to the Chapel, bringing them both back into active and viable use. The proposed new build elements for the PBSA are considered an appropriate modern response within this sensitive context, the materiality and detailing of which will be the key to their final success.

It is recognised that there has been some concern regarding the siting of the new student block and how this impacts the views of the Chapel from the south. The applicants have given this issue due consideration and have through the submission of further information, provided a justification for the approach. On the basis of this further information and having regard to all the other material considerations to be weighed in the balance, this approach is considered reasonable.

The considerable public realm enhancements which form part of the proposals are welcome particularly the creation of a new public square and route through to serve this and the widening of currently very narrow pavements around the whole site, which has been a failing of earlier schemes.

The heritage assets relevant to this site are detailed in Key Issue D of this report. Overall officers are of the view that the impacts in these terms range from moderate less than substantial harm to negligible harm. These impacts must be given considerable weight and importance as they give rise to a strong presumption against permission being granted. The question that needs to be addressed is whether there are other material planning consideration and public benefits that are sufficient to outweigh this strong presumption against planning permission being granted . There are clear economic, environmental and social benefits in this regard which have been described above. The specific benefits which relate to the heritage assets which are also to be weighed in the balance include the preserving of the former hospital building and bringing it into viable new use; the better revealing its historic and architectural significance; optimising the Grade II Listed chapel whilst conserving its significance; the restoration and better revealing the significance of the chapel by removal of later additions and the enhancement of environmental performance of the historic buildings and ensuring their future sustainability. The greatly improved public realm and landscaping within and around the site enhances the setting of some of these assets. Any further harm can be mitigated through the application of conditions on any permission that might be granted by this Authority.

With regard to the sustainability credentials of the scheme, the provision of electric heating within the student accommodation remains an issue; it is non policy compliant. However this issue has to be weighed in the balance in terms of all the other material considerations and overall, given the other benefits that this scheme brings, it is not considered sufficient to warrant a refusal of the scheme on its own in this particular instance.

Development Control Committee B – 18 December 2019

Application No. 19/04331/F & 19/04322/LA: Old Building Bristol Royal Infirmary Marlborough Street City Centre Bristol, BS2 8HW

RECOMMENDATION :In light of the above officers recommend both the full planning application and accompanying listed building application for approval subject to the signing of a S. 106 Planning Agreement to secure the following:-

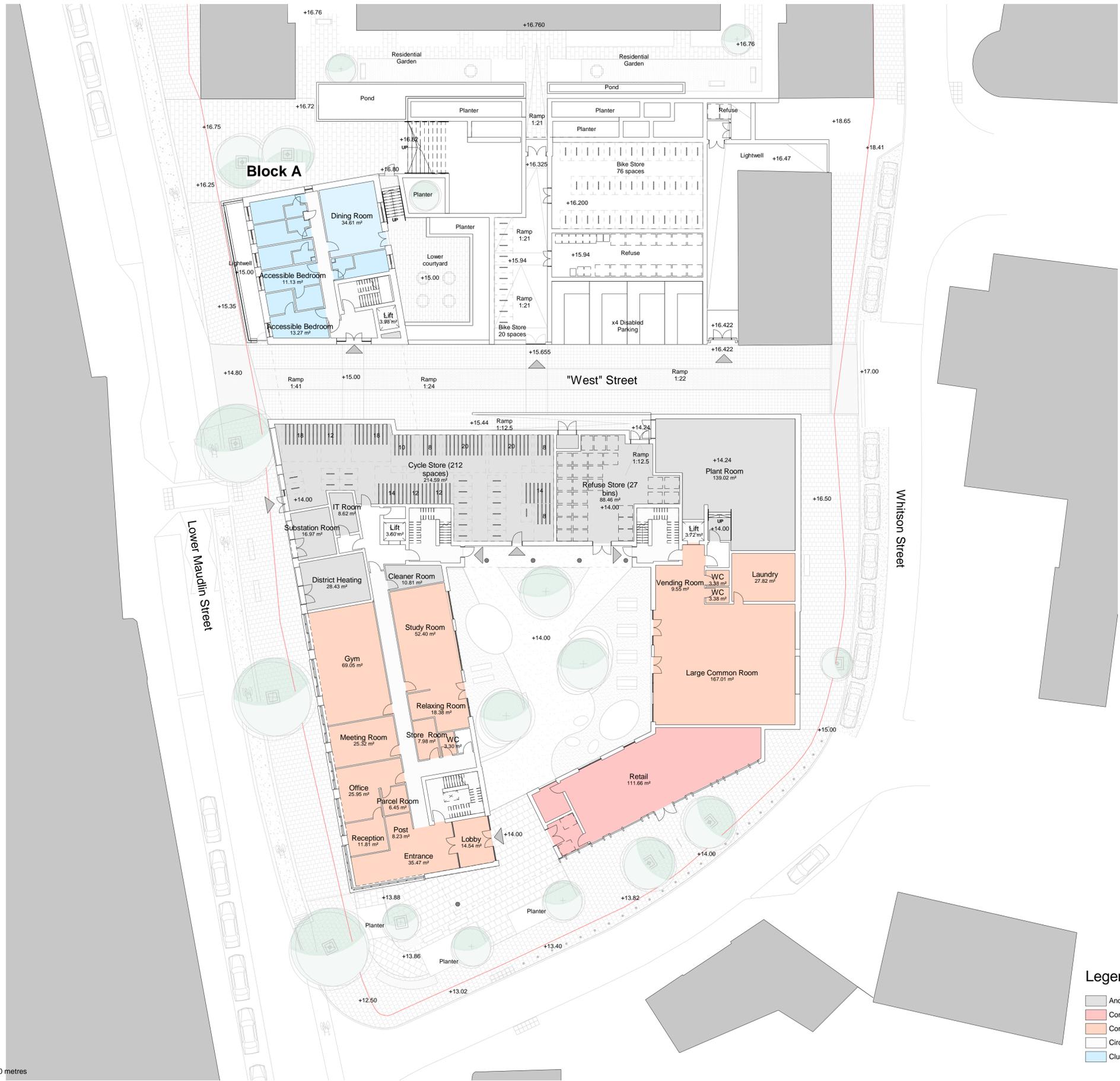
- (i) Connection to the District Heat Network
- (ii) Management and Audit Fee x 2 Travel Plans - £8, 781
- (iii) 5 X Street Trees – appropriate financial contribution in accordance with SPD – Tree in hard standing (tree pit required) £3, 318.88 X 5 = 16,594.4
- (iv) Contributions for 2 x TROs – relocation of crossing and alterations to waiting and loading restrictions =- £5724 x 2 = £11, 448
- (v) Car parking removal compensation – 6 x £16,311.63 =£97, 869.78
- (vi) Securing the option of the Public Art Offer within the Chapel as an Art and Cultural Hub.
- (vii) 20% of the rental properties to be reserved for Essential Workers at a 20% market discount (to include servicing charges) on assured shorthold tenancy agreements.

and subject to the following conditions:- TO BE FINALISED AND REPORTED AT COMMITTEE.

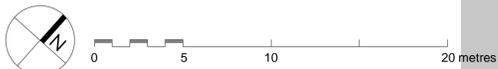
Supporting Documents

1. Old Building BRI Marlborough Street

1. BRI student proposed level 00
2. BRI student proposed level 01
3. Proposed GA plan level 01
4. BRI student proposed NE elevations
5. BRI student proposed SE Elevations
6. Proposed site North & East elevations
7. Proposed site South & West elevations
8. Public realm
9. Highway works



- Legend**
- Ancillary Rooms
 - Commercial
 - Common spaces
 - Circulation
 - Cluster 3-6 bed



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Rev	Description
P1	First Issue
P2	2nd Pre-Application Issue
P3	Amended following comments
P4	Landscape updated
P5	Planning application submission
P6	Highway comments updated
P7	Highway comments amended to align with BBC comments
P8	Cycle entrance relocated
P9	Landscape updated

Date	Drawn	Checked	Status Codes
16/04/19	MC	RG	S0: WIP
08/07/19	MC	RG	S1: Coordination
07/08/19	ES	MC	S2: Information
09/08/19	BS	MC	S3: Int. Review
22/08/19	BS	MC	S4: Construction
24/09/19	MC	RG	D1: Cladding
26/11/19	MC	RG	D2: Tender
04/12/2019	MC	MC	D3: Contractor Design D4: Procurement

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Bristol Royal Infirmary
 Marlborough Street, Bristol
 BRI Student Proposed Level 00

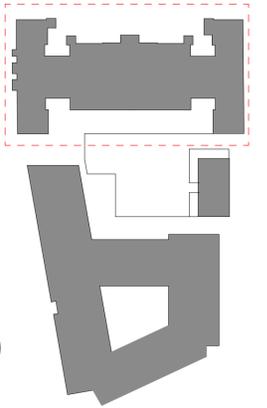
Scale	Date	AFA Project No.	Drawn by	Checked by
1: 200 @A1	16/04/19	5121	MC	RG
Drawn by	Scale	Drawn by	Checked by	
BRI-AFA-02-00-DR-A-1200	P9	S2		

Apartment Types

- 1b2p
- 2b3p
- 2b4p
- Circulation
- DMR Unit



Page 62



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Rev	Description
P1	3 Bed Units replaced with 1/2 Bed Units
P2	Mechanics removed. Split reconfigured - 63% 1-Bed Units 37% 2-Bed Units.
P3	2nd Pre-Application Issue
P4	Planning application submission
P5	Minor amendment to windows. Planning application submission.

Date	Drawn	Checked
30/04/19	BG	RG
31/05/19	BG	RG
08/07/19	MC	RG
22/08/19	BS	RG
27/08/19	MMK	RG

Status Codes
S0: WIP
S1: Coordination
S2: Information
S3: Int. Review
S4: Construction
D1: Costing
D2: Tender
D3: Contractor Design
D4: Procurement

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Bristol Royal Infirmary
 Marlborough Street, Bristol
 Proposed GA Plan Level 01

Scale	Date	AFA Project No.	Drawn by	Checked by
As Indicated @A1	12/04/19	5121	BG	RG
Drawn by	Rev:	Status	Drawn by	Checked by
BRI-AFA - 01 - 01 - DR - A - 1203	P5	S2		

RIBA Stage 3



North East Planning Elevation
1 : 100

Materials Key

1. Facing brick – Brown/ Grey (Multi-tonal colour).
2. Facing soldier course brick – Brown/ Grey (Multi-tonal colour).
3. Pre-oxidised copper standing seam cladding.
4. Acrylic render : White & Light Grey.
5. Vertical PPC aluminium panels (Dark Grey Matt finish).
6. Curtain wall system with flush grey insulated spandrel panels and grille panels with opening vents behind.
7. Curtain wall system with infill insulated pre-oxidised copper and mesh panels with opening vents behind.
8. Re-use pennant rubble stone from Hill Ward Block or random ashlar pennant stone.
9. Fair faced concrete circular columns.
10. Feature window surround - PPC aluminium to match copper cladding.
11. PPC aluminium coping to match windows frame, cill and flashing colour.
12. PPC aluminium coping to colour matched to pre-oxidised copper cladding.
13. PV panels.

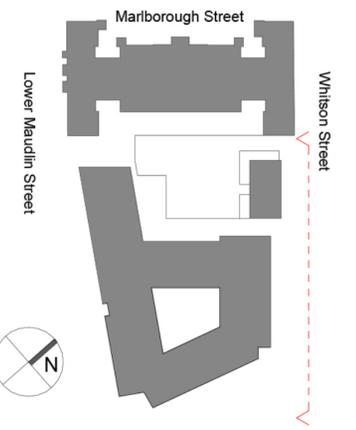
Windows, Doors and Grilles

14. PPC aluminium window frame (Grey).
15. PPC aluminium grill panels with opening vents behind (Grey).
16. Pre-oxidised copper mesh panels with opening vents behind.
17. Brickwork grille with opening vents behind – Brown/ Grey (Multi-tonal colour).
18. PPC aluminium glazed door (Grey).
19. PPC aluminium solid door (Grey).
20. PPC aluminium louvred door (Grey).
21. PPC aluminium louvre (Grey).
22. Picture bay window with aluminium surround, colour matched to pre-oxidised copper cladding.

All glazing to be clear double glazed.

Soffit

23. Brick cladding to soffit.
24. PPC aluminium soffit, colour matched to pre-oxidised copper cladding.



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Rev	Description
P1	First Issue
P2	Planning application submission
P3	Highway comments updated
P4	Elevations amended to align with SCC comments

Date	Drawn	Checked	Status Codes
09/08/19	ES	MC	S0: WIP
22/08/19	BS	MC	S1: Coordination
24/08/19	MC	RG	S2: Information
09/11/19	MC	RG	S3: Int. Review
			S4: Construction
			D1: Costing
			D2: Tender
			D3: Contractor Design
			D4: Procurement

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Bristol Royal Infirmary
Marlborough Street, Bristol
BRI Student Proposed NE Elevation

Scale	Date	AFA Project No.	Drawn by	Checked by
AS indicated @A1	09/08/19	5121	MC	RG
Drawn by	Rev:	Status	Rev:	Status
DryJib	BRI-AFA-02 - XX - DR - A - 1251	P4	S2	

RIBA Stage 3



South East Planning Elevation

1 : 100

Materials Key

1. Facing brick – Brown/ Grey (Multi-tonal colour).
2. Facing soldier course brick – Brown/ Grey (Multi-tonal colour).
3. Pre-oxidised copper standing seam cladding.
4. Acrylic render : White & Light Grey.
5. Vertical PPC aluminium panels (Dark Grey Matt finish).
6. Curtain wall system with flush grey insulated spandrel panels and grille panels with opening vents behind.
7. Curtain wall system with infill insulated pre-oxidised copper and mesh panels with opening vents behind.
8. Re-use pennant rubble stone from Hill Ward Block or random ashlar pennant stone.
9. Fair faced concrete circular columns.
10. Feature window surround - PPC aluminium to match copper cladding.
11. PPC aluminium coping to match windows frame, cill and flashing colour.
12. PPC aluminium coping to colour matched to pre-oxidised copper cladding.
13. PV panels.

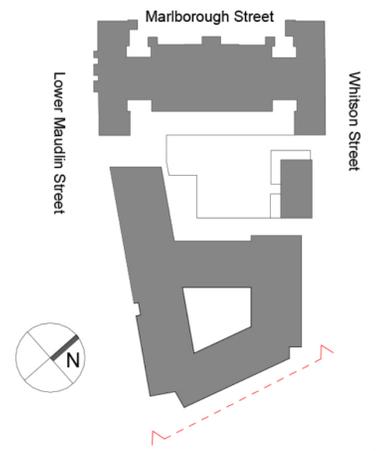
Windows, Doors and Grilles

14. PPC aluminium window frame (Grey).
15. PPC aluminium grill panels with opening vents behind (Grey).
16. Pre-oxidised copper mesh panels with opening vents behind.
17. Brickwork grille with opening vents behind – Brown/ Grey (Multi-tonal colour).
18. PPC aluminium glazed door (Grey).
19. PPC aluminium solid door (Grey).
20. PPC aluminium louvred door (Grey).
21. PPC aluminium louvre (Grey).
22. Picture bay window with aluminium surround, colour matched to pre-oxidised copper cladding.

All glazing to be clear double glazed.

Soffit

23. Brick cladding to soffit.
24. PPC aluminium soffit, colour matched to pre-oxidised copper cladding.



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Rev	Description
P1	First Issue
P2	Planning application submission
P3	Highway comments updated
P4	Elevations amended to align with BCC comments

Date	Drawn	Checked	Status Codes
09/08/19	ES	MC	S0: WIP
22/08/19	BS	MC	S1: Coordination
24/08/19	MC	RG	S2: Information
09/11/19	MC	RG	S3: Int. Review
			S4: Construction
			D1: Costing
			D2: Tender
			D3: Contractor Design
			D4: Procurement

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Bristol Royal Infirmary
 Marlborough Street, Bristol
 BRI Student Proposed SE Elevations

Scale	Date	AFA Project No.	Drawn by	Checked by
AS Indicated @A1	09/08/19	5121	MC	RG
Drawn by	Rev:	Drawn by	Rev:	Checked by
BRI-AFA-02-XX-DR-A-1252	P4	S2		

RIBA Stage 3



Proposed Context East Elevation
1 : 200



Proposed Context North Elevation
1 : 200



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Rev	Description
P1	Second pre-application issue
P2	Amended following comments
P3	Planning application submission
P4	Minor amendment to windows. BRI level amended. Planning application submission
P5	Elevations and plans amended to align with BCC comments
P6	Trees location updated

Date	Drawn	Checked
08/07/19	ES	MC
07/08/19	ES	MC
22/08/19	ES	MC
27/08/19	BS	RG
08/11/19	MC	RG
04/12/19	MC	MC

Status Codes
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Bristol Royal Infirmary
 Marlborough Street, Bristol
Proposed Context North and East Elevation

Scale	Date	AFA Project No.	Drawn by	Checked by
As indicated @A1	05/07/19	5121	ES	MC
Drawn by	Checked by	Drawn by	Checked by	
BS	RG	ES	MC	
RG	MC	P6	S2	

RIEBA Stage 3

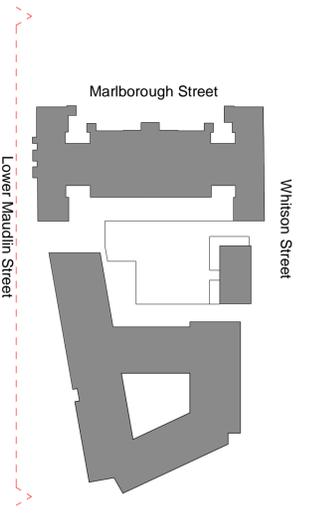


Proposed Context West Elevation
1 : 200

Page 66



Proposed Context South Elevation
1 : 200



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Rev	Description
P1	Second pre-application issue
P2	Amended following comments
P3	Planning application submission
P4	Minor amendment to windows. BRI level amended. Planning application submission
P5	Elevations and plans amended to align with BCC comments
P6	Trees location and Block A elevation updated

Date	Drawn	Checked
08/07/19	ES	MC
07/08/19	ES	MC
22/08/19	ES	MC
27/08/19	BS	RG
08/11/19	MC	RG
04/12/19	MC	MC

Status Codes
S0: WIP
S1: Coordination
S2: Information
S3: Int. Review
S4: Construction
D1: Costing
D2: Tender
D3: Contractor Design
D4: Procurement
A: Construction
B: Partially Signed-off
AB: As Built

AlecFrench Architects
27 Trenchard Street, Bristol, BS1 5AN, T. 01179293011 F. 01179221121
E. mail@alecfrench.co.uk www.alecfrench.co.uk

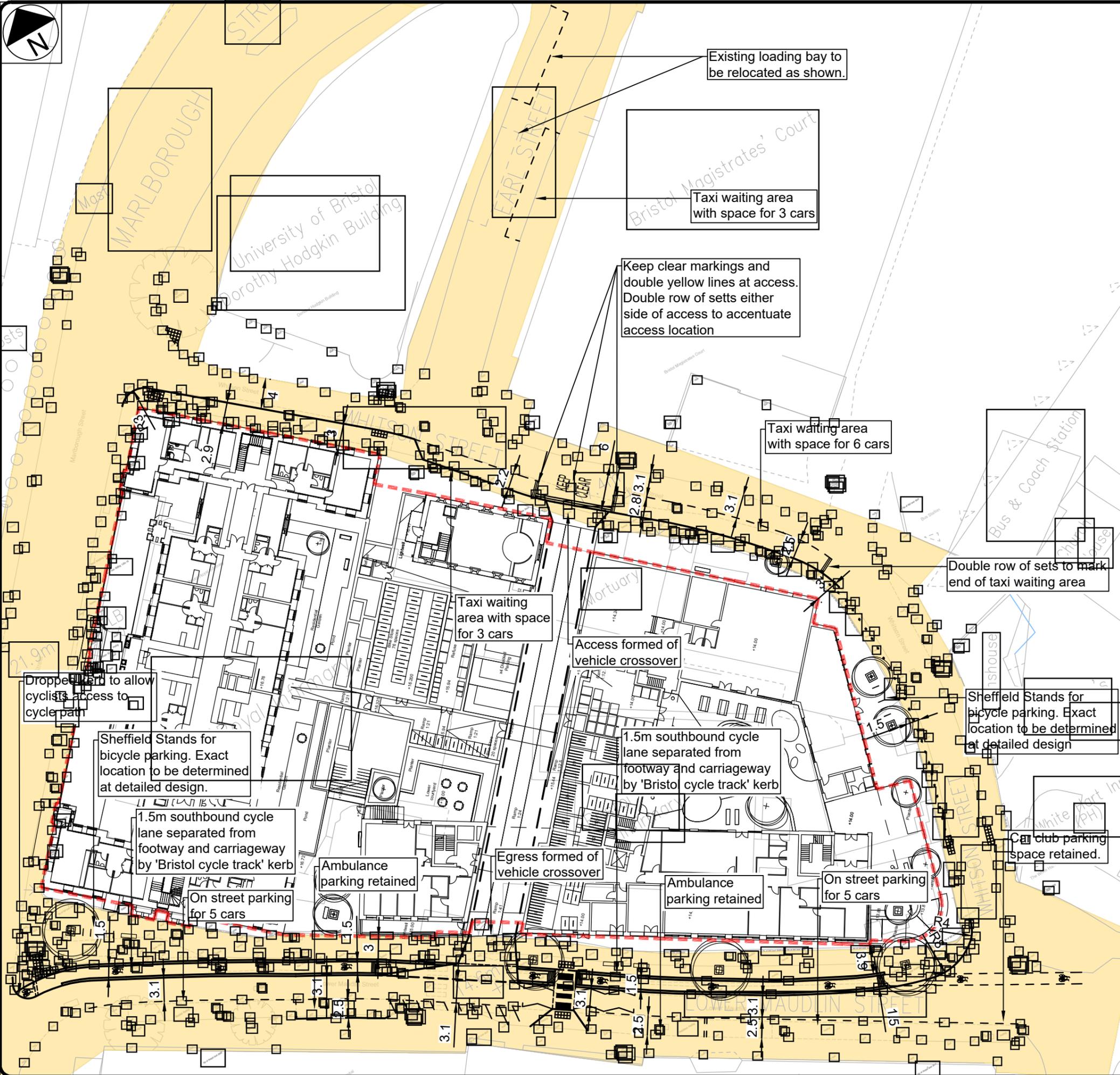
Bristol Royal Infirmary
Marlborough Street, Bristol
Proposed Context South and West Elevation

Scale: As indicated @ A1 Date: 05/07/19 AFA Project No: 5121 Drawn by: ES Checked by: MC
Rev: P6 Status: S2

BRI-AFA-XX-XX-DR-A-1121

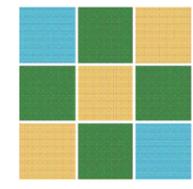
RIBA Stage 3





- Notes:
1. Do not scale from this drawing
 2. Refer to Novell Tullett General Arrangement Drawing 716/100/03 for further details of hard/soft landscaping within public highway

-  Extent of highway maintainable at public expense
-  Proposed new highway boundary



COTSWOLD TRANSPORT PLANNING

Cotswold Transport Planning Ltd
 121 Promenade
 Cheltenham Gloucestershire GL50 1NW
 Tel: 01242 523696
 cheltenham@cotswoldtp.co.uk
 www.cotswoldtp.co.uk

Drawing Title:
Proposed Highway Works

Client:
UNITE

Project:
BRI Old Building - New Scheme

Drawing No: SK01	Revision: L
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Date Drawn: 25.07.19	Issue Date: 04.12.19
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Drawn by: LG	Checked by: MF
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Project Code: CTP-19-390	Scale at A3: 1:500
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Drawing Status:
INFORMATION

Development Control Committee B – 18 December 2019

ITEM NO. 2

WARD: Lawrence Hill

SITE ADDRESS: Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

APPLICATION NO: 19/01690/F Full Planning

DETERMINATION DEADLINE: 31 December 2019

Demolition of Kingsown House and 1-3 Unity Street and erection of three buildings ranging in height up to 5 storeys comprising of 102 co-living studios (Sui Generis); 189 student bedrooms (Sui Generis); 525sqm of co-working/employment floorspace (Class B1a/B1b) alongside associated cycle and refuse storage, plant equipment, car parking, landscaping and associated highways works.

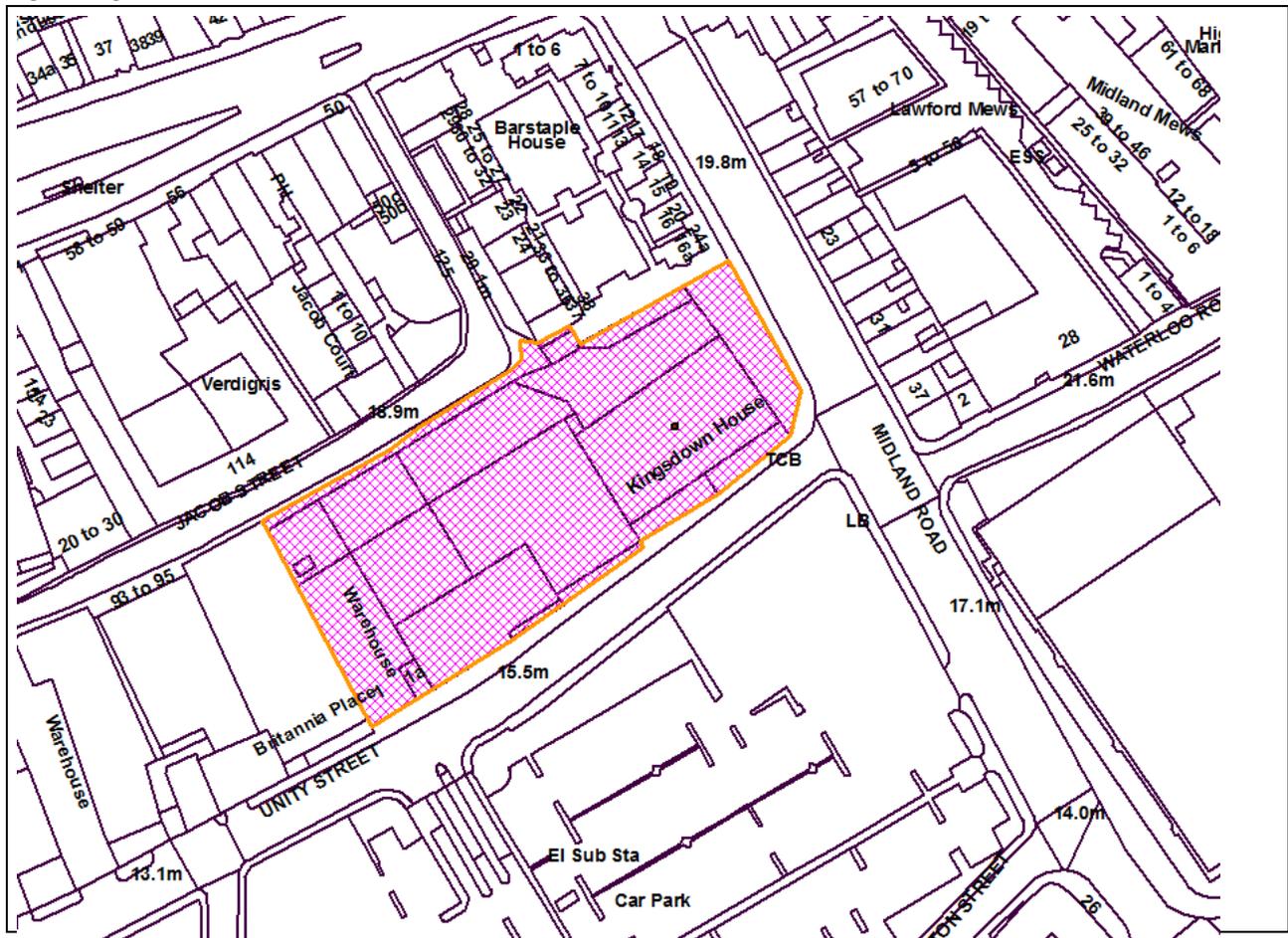
RECOMMENDATION: GRANT subject to Planning Agreement

AGENT: Pegasus Group
10 Albemarle Street
London
W1S 4HH

APPLICANT: Summix USB Developments Ltd
C/o Agent

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Site Description

The Application Site is located within the Old Market area of Bristol. It is bound to the north by Jacob Street, to the south by Unity Street and to the east by Midland Road. Vehicular access to the site is from Jacob Street, with on-street car parking provided along Unity Street.

The site lies within the Old Market Conservation Area.

The application site measures 0.45ha. The site incorporates light industrial/warehouse buildings ranging between 2-3 storeys in height, comprising:

- Kingsown House – GF and FF Level – Occupied by Amphora Aromatics;
- Unit 1/2 – Lower GF, Upper GF and FF Level – Occupied by Bristol Stair & Joinery Co.;
- Unit 1A - Upper GF Level – Vacant (former offices);
- Unit 1A – FF Level – Vacant (former martial arts centre);
- Unit 3 – Lower GF, Upper GF and FF Level – Occupied by Midas as site office in connection with adjacent construction works.

There are no above ground heritage assets within the application site. However, the site is located within the Old Market Conservation Area with listed buildings adjacent to and in close proximity to the site (see below).

There are four trees on the eastern boundary of the site fronting Midland Road, which have been assessed as being of Category C2.

The site lies within Flood Zone 1 (low probability of flooding).

The surrounding area is characterised by a diverse mix of land uses, including light industrial, retail, commercial and residential.

Barstaple House, also referred to as The Holy Trinity Almshouse, bounds the site immediately to the north and comprises two-storey residential properties. Buildings fronting Midland Road (to the east) are predominately three storeys in height, whilst four storey buildings are located further to the east, along Waterloo Road.

Immediately to the south of the application site is a surface car park associated with Gardiner Haskins (retail store).

To the west of the application site (land on west side of 95 Jacob Street) is a site currently being developed to provide 216 student bed spaces and 49no. residential dwellings, within buildings ranging from 3 storeys to 8 storeys (Ref. 17/06689/X).

In addition, planning permission has been granted for the construction of 9 new dwellings immediately opposite the application site to the north, on the other side of Jacob Street (Ref. 17/02313/F). The scheme is three storeys in height with a flat parapet wall roof although construction work is yet to start.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

There are several listed buildings within the vicinity of the application site, including: Barstaple House (Grade II*) which is identified as a Landmark Building; various properties fronting Old Market Street to the north west and north east (Grade II and Grade II*); Gardiners Warehouse to the south west (Grade II); No. 39 Midland Road opposite to the east, is identified as an “unlisted building of merit”.

The site lies within the Old Market Neighbourhood Plan (OMNP), which identifies several “character buildings” which lie within proximity of the site; those on the north side of Midland Road and within Jacob Street to the west. Kingsown House on the corner of Midland Road and Unity Street is allocated in the OMNP as a Long Term Development Site.

Relevant History

18/04837/PREAPP: Proposal to develop the site by demolishing existing buildings and provide ground floor retail commercial uses (approximately 615 sq m) and student accommodation (352 bed spaces). The advice given was as follows:

The buildings on the site have a negative impact on this part of the Old Market Conservation Area and ultimately this is a site for future development.

The quantity and quality of the employment loss needs to be understood and subsequent provision should be of sufficient scale/floor area and designed to be flexible/adaptable to meet identified needs. Non-residential uses at ground floor level are generally supported.

Officers perceived there to be a high concentration of existing student accommodation in the area and noted that the proposal for 352 student bed spaces would be likely to have a harmful cumulative impact on the well established residential area of Old Market. The principle of further student accommodation was therefore not supported.

Officers were broadly supportive of the design principles (subject to further refinement) and welcomed the opportunity the proposals provided for in terms of increasing the amount of activity in the area and helping to activate street frontages.

Key considerations include the setting of the neighbouring Grade II* listed building, the varied roof scape, and the amenities of existing residents of Barstaple Almhouses and of Jacob Street.

Application

The proposals seek to demolish the existing commercial buildings on the site; Kingsown House and 1-3 Unity Street, and erect three buildings of up to 5 storeys, comprising 102 co-living studios (Sui generis), 189 student bedrooms (Sui Generis); 525 sq m of co-working/employment floorspace (Class B1a/B1b), alongside cycle and refuse storage, car parking, landscaping and associated works.

The arrangement of accommodation proposed is as follows:

- Block A (Jacob Street) – 1 x 6bed and 8 x 12 bed townhouses for student occupation (total 102no. student beds);

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

- Block B (Unity Street) – 29 x studios for student occupation; 2 x 4 bed cluster flats; 6 x 5 bed cluster flats; 2 x 6 bed cluster flats; and 1 x 10 bed cluster flat for student accommodation (total 87no. student beds); and
- Block C (Midland Road) – Upper floors provide a total of 102 co-living studios.
- Co-working Space (Class B1a/B1b) – Ground floor of Block B and C (525sqm).

The 102 'co-living' studios would each be self-contained, provided with a kitchenette, bed, desk, and shower room. Communal space is provided in the form of sitting room areas, laundry and concierge facilities and kitchen / dining areas on all residential floors for residents to use.

The 525 sq m of co-working space would provide flexible accommodation for start-up/incubator companies with desk space, meeting rooms and workshop spaces available to all members.

The development would be split between three blocks (Blocks A, B and C), up to 5 storeys in height. Block A, fronting Jacob Street will comprise townhouse-style accommodation, while 'flatted' style accommodation in Blocks B and C would front Unity Street and Midland Road. The blocks are arranged around courtyards, with a north-south pedestrian walkway from Jacob Street to Unity Street provided, together with an east-west pedestrian walkway from Midland Road to Jacob Street (between Block C and Barstaple House) .

As originally submitted, the scheme proposed 107 co-living studios, 210 student bedrooms and 646 sq m of co-working/employment floorspace. Following negotiation revised proposals were received on 9th October, reducing the quantum of development to 100 co-living studios, 197 student bedrooms and 528 sq m of co-working/employment floorspace.

Following further negotiation a second set of revisions to the design were received on 2nd December to address a number of outstanding concerns. These included allowing more light penetration into the courtyards; altering the design and landscaping of the courtyards and the north- south pedestrian link; the removal a number of bedrooms at the western end of Block A to increase the distance from the adjacent Hawkins Street development; and the relocation of the majority of cycle parking into Block B.

Pre Application Community Involvement

The applicants met with the Old Market Community Association on two occasions and also forwarded details of their proposals to the Bristol Civic Society. A public exhibition event was also held on 30th January 2019 with 750 newsletters publicising the event sent out to local residents and businesses on 17th January. Local ward members were also invited to meet the project team.

The applicants state that the public response to the proposals at the consultation event was broadly positive and that attendees generally felt that the area was ideal for redevelopment and welcomed the provision of commercial space on the site.

The applicants add that they have listened to and reflected on the feedback received throughout the consultation process and the concerns of those who were not supportive have been reflected upon and addressed within the proposals wherever possible.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

However, it is not clear from the Statement of Community Involvement submitted with the application whether the comments received from the public had any influence over the final design of the scheme.

RESPONSE TO PUBLICITY AND CONSULTATION**PUBLIC RESPONSE**

Site notices were erected and an advert placed in the local press. In addition more than 500 local addresses were notified of the proposals. Following amendments made to the original submissions a second round of consultation commenced on 11th October targeted at previous respondents. A final round of consultation commenced on 2nd December concerning the revisions received on 2nd December again targeted at respondents to the initial consultation. (Any final comments received from this last round of consultation will be reported at the Committee meeting.)

In response, on the first consultation 16 comments were received, with 12 objecting to the proposals, 2 received in support (including a response from Gardiner Haskins opposite the site) and 1 neutral comment. A detailed response was received from the Old Market Community Association raising issues for and against the proposals.

The Bristol Civic Society did not comment on the proposals in response to this planning application, however, they provided a written response to the applicants in response to the community involvement initiative undertaken before the application was submitted. This response is also set out below.

The second consultation in October resulted in 3 comments, including one received from the Old Market Community Association. Of the 2 remaining comments, one objected to the proposals while the third comment was neutral. No comments have been received at the time of writing following the third and final consultation.

First Consultation**Old Market Community Association**

Proposal to develop the site by demolishing existing buildings and provide 107 co-living studios; 210 student bedrooms; 645 sqm of co-working/employment floorspace in three buildings

Introduction

Firstly, we would like to thank the applicant and their design team for their engagement with us from the start of the planning process. This is an important central site for Old Market and as such will be formative in how the area develops in terms of the built environment and the growing community. We appreciate that the proposal has gone a long way to provide a good quality development, we do consider that with a margin of reworking it could be improved.

Proposal

The development comprises three buildings:

- Block A, a terrace of nine town houses on Jacob Street each accommodating twelve students
- Block B, a 4/5 storey building on Unity Street accommodating 102 students with co-working employment space at ground level
- Block C, a 4/5 storey building on the corner of Midland Road and Unity Street

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

accommodating 107 co-living studios and co-working employment space at ground level

The site area is 0.46 ha; this gives a density of 685 bed-spaces per hectare (bsph), which is appropriate for the area, being equivalent to the density of the recently built scheme on the corner of Midland Road and Horton Street.

The site was the subject of a pre-application enquiry for a development of ground floor retail commercial uses (approx. 615sqm) and student accommodation (352 bed spaces). OMCA comments on the pre-application enquiry are referred to in our review that follows.

The Old Market Quarter Neighbourhood Development Plan

Old Market Community Association (OMCA) have produced a Neighbourhood Development Plan that was made in March 2016 and is now part of the Bristol Local Plan.

The Old Market Quarter Neighbourhood Development Plan (OMQNPD) includes the following Policies that are relevant to development of this site:

Policy T1: *Development proposals should be designed to reduce the environmental impact of vehicular traffic and encourage movement on foot and by bicycle.*

Policy B1: *Development that would affect the setting of heritage assets and features, identified as listed, unlisted buildings of merit, and character buildings on Map 3: Assessment of Building Quality should pay special regard to their historic and visual interest. The following buildings could be affected:*

*Barstaple House – listed grade II**

No. 39 Midland Road – Unlisted building of merit

Nos. 1-37 Midland Road – character buildings

Policy B2: *The design of new development must take account of the history and setting of the Old Market Quarter. New buildings should be designed to be sympathetic to the height and design of neighbouring buildings, street width and frontage lines. Development proposals should also have regard to the Old Market Quarter Design Code set out in Appendix 3.*

Policy C1: *Mixed use development that includes flexible space suitable for accommodating a variety of business uses will be encouraged. This includes small scale office spaces and workshops integrated into residential development.*

Policy C5: *Proposals for new residential development will only be permitted where a satisfactory standard of amenity and privacy can be provided. Proposals for dwellings suitable for occupation by families and having at least three bedrooms will be encouraged.*

Appendix 3, Old Market Design Code, 1.0 The Public Realm

- *There should be a clearly defined boundary between the public realm (streets, lanes, squares and open spaces) and private dwellings and other premises. This boundary is generally defined by a continuous building line set by facades of buildings, substantial boundary walls or railings. The building line determines the location of the walls of the private buildings that frame the streets and other public spaces. The architectural quality of these framing walls is critical to the quality of the public realm as a whole.*
- *The pattern of streets defines a series of urban blocks, each of which contains a mixture of uses. This characteristic needs to be retained and encouraged in any development.*
- *Incorporation of lanes or courtyards giving access to the rear of properties within blocks is encouraged, and these can become routes through blocks to achieve increased permeability.*

Development Control Committee B – 18 December 2019

Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

Appendix 3, Old Market Design Code, 2.0 Scale

- *Building heights to eaves or to top of parapets should not be more than twice the distance from the façade of the building to the centre of the street or lane.*
- *Buildings facing onto the streets can be two, two and a half, three, three and a half or four storeys high and have roof slopes parallel with the street, but some gables facing streets may be included. Variety of building heights along the streets is encouraged.*
- *Attic floors within a pitched roof or set behind a parapet should have all elements below a line drawn at 45° from the eaves or parapet (apart from dormer windows and chimneys).*

Appendix 3, Old Market Design Code, 3.0 Urban and Architectural Character – relevant points:

- *The character of any new development within the Old Market Conservation Area needs to reflect the local vernacular as set out in the ‘Old Market Conservation Area Character Appraisal’.*
- *Elements within the building elevations should have a vertical emphasis.*
- *As well as different building types and forms within the urban blocks there should also be different architectural characteristics between and within blocks in response to the location on the site.*
- *The architectural character is defined by its details in particular walling materials, walling details, windows, external doors and porches, roofing materials, roof details, chimneys, rainwater goods, external lights, alarms and meter boxes. Developers should utilise materials that respect the character of the area including brick, render and stone elements. Careful attention needs to be given to the correct historic application of these materials.*
- *Variety in the design of the building facades facing onto the public realm is strongly encouraged.*

Appendix 3, Old Market Design Code, 4.0 Materials and Details – relevant points:

- *External walls should be faced in stone, brick or render; timber, plastic and metal sheathing are not appropriate. Stone should be bathstone ashlar or pennant split face rubble or similar to match examples that exist in the neighbourhood. Large areas of artificial stone are not appropriate. Facing brick should match examples that exist in the neighbourhood. Brickwork in either English or Flemish bond is preferred to stretcher bond. Render on masonry backgrounds should be roughcast or wood floated with external corners formed by hand rather than by use of metal stop beads. Plinths, string courses, cornices and rustication in stone or artificial stone are encouraged.*
- *Pitched roof coverings should be natural slate, clay plain tiles or clay double roman tiles. Use of artificial slate and concrete plain tiles or interlocking tiles should be avoided. Plastics and UPVC should not be used for visible roof components. Solar panels and photovoltaic cells incorporated into the roof design should sit in the plane of the roof to ensure minimal visual intrusion.*
- *Windows should be framed in painted wood or self-coloured aluminium. Vertical sliding sash or side hung opening lights are preferred. Stained timber, UPVC, aluminium or plastic-coated timber frames are not appropriate. Top hung windows that mimic sash windows, pivot windows, and windows with asymmetrical subdivision should be avoided. Windows with ‘clip on’ or integral (sandwiched within double glazed units) glazing bars should also be avoided. Sash windows should incorporate timber glazing bars to provide smaller panes of glass. Adjacent opening lights and fixed lights in casement windows should match and look identical from the outside.*
- *External doors should be constructed in timber, with or without a metal core, and painted, either vertically boarded or panelled, with or without a fanlight above. Varnished hardwood and moulded or pressed UPVC doors are not appropriate, regardless of building design.*
- *Dormers should be of a scale and materials that suits the roof within which they sit. Dormers*

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

that do not rise directly from the fabric of the main wall should be no more than 2 lights wide and placed no less than 900mm from the gable end or party wall.

- *Where balconies are incorporated into buildings these should be large enough to accommodate two people seated at a table.*

OMCA Review

Assessment v. pre-app comments

1. As we stated in our review of the pre-app, we support development of this site, but, have some concerns about the concentration of student accommodation in the immediate vicinity. The Market Gate building, the Print Hall and the Hawkins Street development accommodate over 1,200 students. This development would add another 210 students in Old Market. While we welcome the reduction in the number of students from the 352 proposed at pre-app stage, it is still a significant addition.

2. In our review of the pre-app, we suggested that consideration is given to part of the development being conventional residential units, as the adjacent Hawkins Street development and as advocated in the emerging local plan (*Bristol Local Plan Review Consultation, Feb 2018, Proposal ULH6, Specialist Student Accommodation*). We can support the co-living studios as they provide different accommodation that will only enhance the diversity of Old Market Quarter but not as an alternative to conventional residential units. We would suggest that the three westernmost town houses in Block A and an equivalent part of Block B become the site for conventional dwellings that would adjoin similar conventional dwellings on the Hawkins Street site.

3. In our review of the pre-app, we noted that the proposed development included provision of pedestrian routes both eastwards and southwards from the Jacob Street corner to Midland Road and Unity Street respectively, as shown on map 2 of the neighbourhood plan and in line with neighbourhood plan policy T1. We supported this pedestrian permeability. However, we note that it is now proposed to keep the wall along the Midland Road boundary which will block the potential pedestrian route from the Jacob Street corner and therefore defeat the aspiration of the neighbourhood plan, which advocates the improvement of pedestrian accessibility throughout the area. There should be a gap in the wall and the new pedestrian route left open for public use. It should be noted that this wall is not old; it is the same age as the Kingsown House industrial warehouse building and therefore is not of historic value in itself.

4. As noted in our pre-app comments, the building height parameter set out in Old Market Quarter Building Code section 2.0 - Scale, applied to the building footprints as proposed, gives maximum heights to eaves/top of parapets of 11 metres on Jacob Street (Block A), 18 metres on Unity Street (Block B) and 15 metres on Midland Road and Unity Street (Block C). The proposed buildings comply with these parameters apart from the fourth floor proposed over part of Block C.

5. As noted in our pre-app comments, nos. 1-37 Midland Road opposite the site are 3-storey, some with attic floors, terminated by no.38 on the Waterloo Street corner which is 4-storeys. The scale of Block C relates well to these heritage assets apart from the fourth floor proposed over part of Block C.

6. In view of points 4 and 5 and the prominence that the fourth floor of Block C would have in the oblique views along Midland Road, we consider that the fourth floor should be removed. It is possible to replace the nine fourth-floor rooms by the addition of rooms on other floors as

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

set out in points 7 and 20.

7. The footprint of Block C as now proposed does not relate as well to the footprint of Barstaple House as it did in the pre-app plans; the centreline of the courtyard in Block C should align with the centreline of the Barstaple house courtyard and the centreline of each wing of Block C should align with the ridgelines of each wing of Barstaple House. The courtyard in Block C should be widened, which would add a studio each side of the corridor on the Unity Street side of the building (an addition of six rooms in total).

8. We note that there are still back-to-back internal corridors in Block B and rooms c.24m from the single staircase which is possibly too long for fire escape in accordance with building regs. Back-to-back internal corridors could be eliminated and 24m escape distance overcome by reducing the length of Block B as set out in point 2.

The Elevations

9. We consider that houses in Block A should be paired and handed so entrance doors to each pair, both front and rear, are adjacent, and that floor levels are aligned with external levels i.e. no steps in the entrances and no abrupt slopes externally between houses. The house at the east end could have its front door on the side accessed off the new pedestrian route between Jacob Street and Unity Street.

10. There needs to be more architectural variation in the elevations of the houses in Block A to echo the variety in the older buildings on the opposite side of Jacob Street; the elevations of all the houses currently are essentially variations on a single theme. Each pair of houses could have a markedly different architectural treatment and the end house could be different in both form and appearance. This would complement the varying rhythm of the neighbouring buildings.

11. The steps in building line between each group of houses is not a feature of Jacob Street; the building line should follow as closely as possible the site boundary at back of pavement, like the buildings on the opposite side of Jacob Street. There should not be any planting in front of the houses.

12. The timber fences to roof terraces shown on the elevations of Block A should be omitted; these are not shown in Artists Impressions 14 and 15. Timber fences in this location would not be in accordance with Old Market Design Code.

13. There are no elevation drawings of the west end of both Blocks A and B, so it is not clear how the ends of these buildings relate to what is being built on the Hawkins Street site. We would suggest that the buildings are moved at least 2m away from the boundary and the width of the pedestrian route between Blocks A and B reduced accordingly.

14. Could the architecture of Block B be 'lighter' and less commercial/corporate looking? More variety, more brick and less cladding. The essence of Old Market is a rich assortment of architectural form, style and materials, which we wish to see in new developments in line with paragraph 7.2.2 of the Neighbourhood Plan and Policy B2.

15. The cladding material should be zinc, as stated on Design and Access Statement page 48 and not coloured powder coated metal finish as stated on the elevation drawing. Cladding should be removed from the ground floor where it could easily be damaged.

16. The architectural treatment of the Unity Street/Midland Road corner of Block C is disappointing; this is the most prominent part of the site. As Midland Road becomes busier it

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

will in turn promote the function of this building. There should be an entrance to the coworking space here (the floor level can be raised up 0.75m) with the entrance marked by some architectural embellishment. The Palace Hotel, on the corner of West Street and Lawford Street, and visible from the site, is a wonderful example in Old Market of an embellished entrance on a prominent curved corner.

17. There doesn't appear to be enough masonry above the arches on Block C; consider making the glass balustrade on the parapet into brickwork to give appropriate visual weight, following the historic reference example of Gardiner Haskins.

18. Although the ends of Block C have been altered from what was shown at the pre-app stage, the relationship with the elevations of Grade II* listed Barstaple House is still not satisfactory; the sloping metal cladding is a poor reflection of the steeply pitched roofs on Barstaple House.

19. We would strongly recommend that the ends of the two wings of Block C should be 3 storeys high, faced in the grey brick with flat roof and parapet at the same height as the parapet on the bay at the end of the Jacob Street side of Barstaple House and close to the level of the eaves on the Midland Road side of Barstaple House. There would be a simple one-storey step up to the rest of Block C which would remain at four storeys high.

The Site Plan

20. The ends of the wings of Block C should line through. Lengthening the wing on the Jacob Street side of the building would add a studio on each side of the corridor on the first and second floors (an addition of four rooms in total).

21. The new pedestrian route between Jacob Street and Unity Street could be beneficially reduced in width; the ends of Blocks A and B could line through with the wall on the side of Jacob Street going towards Old Market Street, achieved by moving the buildings away from the Hawkins Street development boundary (as point 13 above) and aligning the centrelines of the Barstaple House and Block C courtyards (see point 7 above).

22. The new pedestrian route between Jacob Street and Midland Road needs to be shown and possibly widened to incorporate some or all of the land bounded by an existing retaining wall (identified as subject to survey).

23. While we accept that there should be a space between the building and the wall along Midland Road, we consider that it is unrealistic to expect trees to grow successfully adjacent to a four-storey building in the limited space available. The space only needs to be 2 metres width, which is the same as the space between Barstaple House and the wall on Midland Road, and the boundary defined by railings rather than a wall to strengthen the impression of an active front at street level.

24. We don't see the point or relevance to this site of the 'water feature' in the paving in the new pedestrian route. Perhaps this could be swapped out for some embellishment within the communal courtyard area to provide an even better sense of place?

25. The courtyards between Blocks A and B and within Block C are quite narrow in relation to the height of enclosing buildings. Moving Block A to back of pavement (as point 11 above) and eliminating back-to-back corridors in Block B (as point 8 above) could increase the width of the courtyard between Blocks A and B by up to 4 metres. Adjusting the footprint of Block C (as point 7 above) would increase the width of the courtyard by 3.5 metres

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

26. The bell mouth at the junction of Midland Road and Unity Street has not been reduced as TDM request in their pre-app comments.

27. No account has been taken of the approved residential development on the site on the corner of Jacob Street (Application 17/02313/F).

Bristol Civic Society

The proposal – is to demolish the current buildings on the site to construct 209 student accommodation units, and 103 co-living apartments aimed at young professionals wanting to live in, co-working and workshop space for small and medium size enterprises.

Demolition - none of the current buildings has architectural merit; they are negative features in the Old Market Conservation Area.

Change of use

In its response dated the 3rd October 2018 to the earlier planning enquiry, [Pre Application reference no: 18/04837/PREAPP] the Society set out its objections to the proposed exclusive use as student accommodation; those objections remain valid. The Society does not repeat its earlier comments because the Council's advice letter dated the 2nd November 2018 gave more authoritative advice about building exclusive student accommodation. Following this later enquiry the Council must decide whether the inclusion of co-living apartments and workshop space adequately mitigates the loss of employment space and the increased concentration of the student population in the area.

A relevant factor is striking absence of a local convenience store despite the substantial influx of new residents around Old Market, in recent times. Businesses in areas of concentrated student accommodation find it difficult to survive the void periods of university vacations. These businesses succeed only where there is a stable demand.

Mass height and design

The Society supports redevelopment of the site with an intensified density. The proposed design attains a good quality and uses durable materials. The developer should consider the use of graffiti resistant materials. This is an area that is subjected to persistent tagging which sometimes reaches higher levels.

We note the changes to the built form to address the concerns expressed in the Council's advice letter about the relationship of height, roof form and articulation of the Unity Street elevation to the Grade II* listed Almshouses in Midland Road. We also note the changes in design to retain some of the Almshouses's soft landscape setting and the stone boundary wall that gives distinct character to this corner on to Midland Road.

Public realm

The new connection between Unity Street and Jacob Street will be a planning gain as will the repair and reinstatement of the surrounding pavements.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Further Public Comments

The main points of objection expressed by the public were as follows:

Noise and Disturbance: Both during the construction period and following completion of the development with large numbers of people living on the site.

Design: The buildings are too large and tall, and are out of character with the area.

Parking: Parking is already difficult on surrounding streets and the situation will be made worse by this development.

Impact on amenity: Overshadowing; loss of light and privacy to adjoining dwellings and courtyards to the north and east (Jacob Street; Barstaple House and Midland Road).

Impact on the character of the area: There will be an increasing number of students in the area. The occupants of the development would all be transient with no respect for the area. Litter is already a problem and this would become worse.

Other comments raised were as follows:

The development would prevent access to the 'back gate' of Barstaple House which is required to move heavy, large items and maintenance machinery onto the site. [In response the applicant has agreed to maintain access to the 'back gate' for use by residents of Barstaple House.]

The red line had been drawn incorrectly and was an incursion onto Barstaple House. [Plans received from the Land Registry have clarified that the red line boundary is correct.]

The development would adversely affect property values in the area.

One comment was made in support of the proposals, stating that the proposals would be beneficial in regenerating an otherwise dilapidated area, and that the benefits outweighed any drawbacks regarding potential disturbance.

Second Consultation

Old Market Community Association:

Following receipt of revised drawings which show a reduction in the number of co-living studios from 107 to 100, a reduction in the number of student bedrooms from 210 to 197, a reduction of the co-working/employment floorspace from 645 to 528sqm and revisions to the appearance of the proposed buildings, we have reviewed our earlier comments (in italic script that follows) and made further comments [shown below].

Assessment v. pre-app comments

1. As we stated in our review of the pre-app, we support development of this site, but, have some concerns about the concentration of student accommodation in the immediate vicinity. The Market Gate building, the Print Hall and the Hawkins Street development accommodate over 1,200 students. This development would add another 210 students in Old Market. While we welcome the reduction in the number of students from the 352 proposed at pre-app stage, it is still a significant addition.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

The addition of 197 Students remains a significant number. As comment 2, substitution of part of the student accommodation with 'conventional housing' would overcome our concerns.

2. In our review of the pre-app, we suggested that consideration is given to part of the development being conventional residential units, as the adjacent Hawkins Street development and as advocated in the emerging local plan (Bristol Local Plan Review Consultation, Feb 2018, Proposal ULH6, Specialist Student Accommodation). We can support the co-living studios as they provide different accommodation that will only enhance the diversity of Old Market Quarter but not as an alternative to conventional residential units. We would suggest that the three westernmost town houses in Block A and an equivalent part of Block B become the site for conventional dwellings that would adjoin similar conventional dwellings on the Hawkins Street site.

This remains our view; we consider that the scheme would benefit from the incorporation of some 'conventional housing' which would introduce more diversity into the appearance of the scheme and reduce the monolithic effect of the proposals as currently presented - particularly block B

3. In our review of the pre-app, we noted that the proposed development included provision of pedestrian routes both eastwards and southwards from the Jacob Street corner to Midland Road and Unity Street respectively, as shown on map 2 of the neighbourhood plan and in line with neighbourhood plan policy T1. However, we note that it is now proposed to keep the wall along the Midland Road boundary which will block the potential pedestrian route from the Jacob Street corner and therefore defeat the aspiration of the neighbourhood plan. There should be a gap in the wall and the new pedestrian route left open for public use. It should be noted that this wall is not old; it is the same age as the Kingsdown House industrial warehouse building and therefore is not of historic value in itself.

We note that there is now a gap in the wall, but this is only 1 metre wide. The gap and the path along the Barstaple House boundary should be significantly wider – as least 2.4 metres. This path becomes the obvious step-free route from the Jacob Street corner to Unity Street.

4. As noted in our pre-app comments, the building height parameter set out in Old Market Quarter Building Code section 2.0 - Scale, applied to the building footprints as proposed, gives maximum heights to eaves/ top of parapets of 11 metres on Jacob Street (Block A), 18 metres on Unity Street (Block B) and 15 metres on Midland Road and Unity Street (Block C). The proposed buildings comply with these parameters apart from the fourth floor proposed over part of Block C.

Following reconfiguration of the fourth floor of block C all buildings now comply.

5. As noted in our pre-app comments, nos. 1-37 Midland Road opposite the site are 3-storey, some with attic floors, terminated by no.38 on the Waterloo Street corner which is 4-storeys. The scale of Block C relates well to these heritage assets apart from the fourth floor proposed over part of Block C.

This is still the case.

6. In view of points 4 and 5 and the prominence that the fourth floor of Block C would have in the oblique views along Midland Road, we consider that the fourth floor should be removed. It is possible to replace the nine fourth-floor rooms by the addition of rooms on other floors as set out in points 7 and 20.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Even though the extent of the fourth floor has been reduced we still consider that all accommodation at this level should be removed; the roof garden should be retained together with the stair and lift access.

7. The footprint of Block C as now proposed does not relate as well to the footprint of Barstaple House as it did in the pre-app plans; the centreline of the courtyard in Block C should align with the centreline of the Barstaple house courtyard and the centreline of each wing of Block C should align with the ridgelines of each wing of Barstaple House. The courtyard in Block C should be widened, which would add a studio each side of the corridor on the Unity Street side of the building (an addition of six rooms in total).

We note that the western wing has been moved as we suggested but that the eastern wing has not. The potential of adding studio rooms by extending the western wing or adding studio rooms each side of the corridor on the south wing has not been adopted. Adoption of one or both of these suggestions would compensate for the removal of accommodation on the fourth floor set out in point 6 above.

8. We note that there are still back-to-back internal corridors in Block B and rooms c.24m from the single staircase which is possibly too long for fire escape in accordance with building regs. Back-to-back internal corridors could be eliminated and 24m escape distance overcome by reducing the length of Block B as set out in point 2.

This is still the case.

The Elevations

9. We consider that houses in Block A should be paired and handed so entrance doors to each pair, both front and rear, are adjacent, and that floor levels are aligned with external levels i.e. no steps in the entrances and no abrupt slopes externally between houses. The house at the east end could have its front door on the side accessed off the new pedestrian route between Jacob Street and Unity Street.

We note that the design has been amended in line with our suggestions. Also, see new comment 28 below.

10. There needs to be more architectural variation in the elevations of the houses in Block A to echo the variety in the older buildings on the opposite side of Jacob Street; the elevations of all the houses currently are essentially variations on a single theme. Each pair of houses could have a markedly different architectural treatment and the end house could be different in both form and appearance. This would complement the varying rhythm of the neighbouring buildings.

This is still the case.

11. The steps in building line between each group of houses is not a feature of Jacob Street; the building line should follow as closely as possible the site boundary at back of pavement, like the buildings on the opposite side of Jacob Street. There should not be any planting in front of the houses.

We note that the design has been amended in line with our suggestions.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

12. *The timber fences to roof terraces shown on the elevations of Block A should be omitted; these are not shown in Artists Impressions 14 and 15. Timber fences in this location would not be in accordance with Old Market Design Code.*

We note that the timber fences have been removed.

13. *There are no elevation drawings of the west end of both Blocks A and B, so it is not clear how the ends of these buildings relate to what is being built on the Hawkins Street site. We would suggest that the buildings are moved at least 2m away from the boundary and the width of the pedestrian route between Blocks A and B reduced accordingly.*

We note that the design has been amended in line with our suggestions. Also, see new comment 29 below.

14. *Could the architecture of Block B be 'lighter' and less commercial/corporate looking? More variety, more brick and less cladding. The essence of Old Market is a rich assortment of architectural form, style and materials, which we wish to see in new developments in line with paragraph 7.2.2 of the Neighbourhood Plan and Policy B2.*

This is still the case.

15. *The cladding material should be zinc, as stated on Design and Access Statement page 48 and not coloured powder coated metal finish as stated on the elevation drawing. Cladding should be removed from the ground floor where it could easily be damaged.*

We note that the drawings now state 'cladding panel – dark grey zinc finish'. There is no indication of what these cladding panels are made of. Generally cladding panels are a material that is alien to Old Market and certainly not encouraged in the conservation area. We would hope that the panels are natural sheet metal and not an artificial imitation. We are still concerned that cladding is shown at ground floor level where it will be susceptible to damage.

16. *The architectural treatment of the Unity Street/Midland Road corner of Block C is disappointing; this is the most prominent part of the site. There should be an entrance to the co-working space here (the floor level can be raised up 0.75m) with the entrance marked by some architectural embellishment. The Palace Hotel, on the corner of West Street and Lawford Street, and visible from the site, is a wonderful example in Old Market of an embellished entrance on a prominent curved corner.*

This is still the case. The fire escape door currently shown in the middle of the Co-Working space could be moved to the corner. Also, see new comment 30 below.

17. *There doesn't appear to be enough masonry above the arches on Block C; consider making the glass balustrade on the parapet into brickwork to give appropriate weight, following the historic reference example of Gardiner Haskins.*

We are pleased to see that that the parapets have been raised in line with our suggestions.

18. *Although the ends of Block C have been altered from what was shown at the pre-app stage, the relationship with the elevations of Grade II* listed Barstaple House is still not satisfactory; the sloping metal cladding is a poor reflection of the steeply pitched roofs on Barstaple House.*

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

We note that the design has been improved, however, we don't see the point in taking the 'slit' window up to the third floor. We believe that the end wall should be red brickwork rather than cladding panels.

19. We would strongly recommend that the ends of the two wings of Block C should be 3 storeys high, faced in the grey brick with flat roof and parapet at the same height as the parapet on the bay at the end of the Jacob Street side of Barstaple House and close to the level of the eaves on the Midland Road side of Barstaple House. There would be a simple one-storey step up to the rest of Block C which would remain at four storeys high.

We note that the design has been improved and as above we don't see the point in taking the 'slit' window up to the third floor and that the end wall should be red brickwork.

The Site Plan

20. The ends of the wings of Block C should line through. Lengthening the wing on the Jacob Street side of the building would add a studio on each side of the corridor on the first and second floors (an addition of four rooms in total).

We are disappointed that this improvement to the scheme has not been adopted.

21. The new pedestrian route between Jacob Street and Unity Street could be beneficially reduced in width; the ends of Blocks A and B could line through with the wall on the side of Jacob Street going towards Old Market Street, achieved by moving the buildings away from the Hawkins Street development boundary (as point 13 above) and aligning the centrelines of the Barstaple House and Block C courtyards (see point 7 above).

We note that the design has been amended in line with our suggestions.

22. The new pedestrian route between Jacob Street and Midland Road needs to be shown and possibly widened to incorporate some or all of the land bounded by an existing retaining wall (identified as subject to survey).

We note that the pedestrian route between Jacob Street and Midland Road is now shown but the pathway should be at least 2.4 metres wide as point 3 above.

23. While we accept that there should be a space between the building and the wall along Midland Road, we consider that it is unrealistic to expect trees to grow successfully adjacent to a four-storey building in the limited space available. The space only needs to be 2 metres width, which is the same as the space between Barstaple House and the wall on Midland Road, and the boundary defined by railings rather than a wall to strengthen the impression of an active front at street level.

We are disappointed that this improvement to the scheme has not been adopted. As noted in point 3, the existing wall is not old; it is the same age as the Kingsdown House industrial warehouse building and therefore is not of historic value in itself. It is unrealistic to 'retain the stone wall in-situ' during construction works as noted on the drawings. 1.2m high railings rising up from pavement level would be a more appropriate boundary treatment. The ground level between railings and building would follow the slope of the Midland Road pavement.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

24. *We don't see the point or relevance to this site of the 'water feature' in the paving in the new pedestrian route.*

This is still our view.

25. *The courtyards between Blocks A and B and within Block C are quite narrow in relation to the height of enclosing buildings. Moving Block A to back of pavement (as point 11 above) and eliminating back-to-back corridors in Block B (as point 8 above) could increase the width of the courtyard between Blocks A and B by up to 4 metres. Adjusting the footprint of Block C (as point 7 above) would increase the width of the courtyard by 3.5 metres.*

Although the courtyards have been increased in width there is potential to increase the width further by adjusting the scheme in line with our comments. The view of the courtyard between blocks A and B shows it to be very canyon-like.

26. *The bell mouth at the junction of Midland Road and Unity Street has not been reduced as TDM request in their pre-app comments.*

We are disappointed that the bellmouth has not been reduced and that TDM have changed their view. The footpath on this side of Midland Road is well used, particularly as a route from the housing in St Judes to Hannah Moore School, and the crossing at the end of Unity Street is too wide; it needs to be narrowed, which reduction of the bell mouth would achieve. There could be a continuous dropped kerb around the corner over which the largest vehicles could overrun. We would ask that TDM reconsider their change of mind.

27. *No account has been taken of the approved residential development on the site on the corner of Jacob Street (Application 17/02313/F).*

We note that this is now shown on the drawings.

Further Points:

28. On block A we consider that there should be brickwork piers at ground floor level between the front doors and party walls on each house so that they look like separate houses.

29. We note that it is proposed to finish the end elevation walls of blocks A and B in render. We consider that these walls should be brickwork.

30. We consider that the additional communal KDL spaces introduced into block C first, second and third floors would be far better in the curved corner position, where there is a larger window than in the studio rooms.

31. The new access between the blocks shows the steps separated from the handrails each side by cycle ramps; this will make the handrails useless for infirm pedestrians. We would suggest that the ramps are removed; cyclists can go from the Jacob Street corner to Unity Street via the path alongside the Barstaple House boundary.

32. We approve of the additional height on the corner of Block A and would suggest that the space is two rooms rather than a roof garden and that the layout of house A9 is altered to four bedrooms on first, second and third floors, kitchen/dining and living room on upper ground floor and cycle store (for 60 bikes) on lower ground floor. This will allow the containers, which are rather prominent in artist's

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

impressions 7 and 9, to be removed from the courtyard with a considerable improvement to the landscaping of the space.

33. We would suggest that the third-floor plans on units A1 to A8 are altered to single bedrooms each side of the stair/bathroom core with sloping roofs and dormer windows each side. This would reduce the overbearing appearance of the top of the building seen in artist's impressions 6 and 9 and eliminate the areas of inviting flat roof that are designated as 'maintenance only'. Sloping roofs will have a better relation to existing buildings in Jacob Street and improved oblique views from the street.

34. We are pleased to note that the gates and railings to both courtyards are subject to 'specialist/artistic input'. We would welcome the opportunity to be involved in the selection of the artists and their proposals.

The comment of objection expressed by the public were that the new building would significantly reduce natural light entering adjoining dwellings due to its height and proximity.

CONSULTEES**INTERNAL:**

City Design Group

The comments below were made following receipt of the first amendments received on 9th October.

Summary:

The scheme proposes the redevelopment of a rectangular corner site to provide purpose-built managed student accommodation and co-living studios. Arranged over three buildings (A, B, C) reinstating street frontages along Unity Street and Jacob Street, the creation of two private courtyards and new pedestrian routes, the buildings' height varies from 3 to 6 storeys.

Although during the process of the current application the amount of development has decreased (from 317 to 297 bed spaces) and design improvements have been incorporated, the scheme still cannot be fully supported from a design perspective. Whilst the principle to develop student accommodation and co-living are supported, CDG considers the design issues stem from the over-intensity that challenges liveability aspirations and successful placemaking. When schemes such as this are seeking maximum development levels within the area, they must also achieve exemplary design quality and urban design response in relation to the Urban Living SPD.

The core concerns are identified below, followed by suggested solutions to overcome the deficiencies:

Public Realm:

- Deficiency in accessibility within the public realm
- Insufficient green infrastructure to support the intensification of the site

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Provision of outdoor space:

- Insufficient provision and questioned design quality of shared amenity space offered in both courtyards
- Unacceptable location, appearance and convenience of cycle parking

Internal Configuration and Circulation:

- Unresolved internal configuration which fails to meet recommended liveability criteria

Height, Scale and Massing:

- Unresolved scale and massing which affects the sunlight/daylight penetration to new dwellings

Public Realm:

DM28 sets how development should create high quality public realm which provides appropriate space for movement and appropriate relationship with the building edge. DM27 sets out how development should provide streets and spaces that allow convenient access and choice of movement modes, at a scale appropriate to the size of development. Urban Living SPD provides further guidance, acknowledging that as densities increase, the need to invest in a high quality public realm grows. Streets with a higher footfall should have wider pavements and when next to wide traffic routes, should accommodate extensive tree planting.

Whilst the new pedestrian route that connects Jacobs Street and Unity Street is welcome, there are still serious deficiencies that should be resolved. The proposed design should offer a more positive perception of accessibility. There is space available within the link for extra flights of steps, making the use of the route generally less taxing and benefitting those with mobility issues.

The width of the proposed route should increase. This can be done by abutting buildings A and B's south west flanks to the new built form of adjacent development.

The wider stretch of pavement along Unity Street should benefit from highway tree planting, which would help to soften the built form massing. [The applicant has agreed to do this.]

The new pedestrian route that connects Jacob Street and Midland Road is welcome. However, further information is required in terms of the relationship to the Almshouses boundary. This will instruct its detail design and dimensions. As it is proposed, it looks narrow, obscured, unattractive and uninviting.

Provision of Outdoor Space:

Another key aspect of liveability in higher density development is access to private outdoor space. Either as private or communal space, this can provide a place of retreat, community interaction, socialisation and play.

DM27 Layout and Form sets out the requirement for "the provision of adequate, appropriate and usable private or communal amenity space". The Urban Living SPD provides further guidance on this

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

and recommends 1475sqm of private open space for the scheme as currently proposed. From the plans approximately only 1050sqm are provided by both courtyards.

In locating and designing these courtyards it is not just about quantity, but also the function and spatial quality. For instance, the courtyard between buildings A and B, although the width was slightly increased, the 5-storey height of building A is still overbearing on this elongated courtyard. Admitting that the east west orientation of the long elevation would benefit from a south facing aspect; and if the height of building A is to be entertained, bringing more light and improving design are required and the following recommendations are put forward to achieve this:

- Reshape the eastern corner of block B facing the courtyard, in a similar fashion to the western corner. This will allow oblique sunlight penetration from the south east. Also, this will additionally solve the privacy issue between the eastern end of building B and the side front of building C
- Reduce the height of the south west fourth floor of block B, even if only the northern aspect of it, facing the courtyard. This will allow the oblique sunlight penetration from the south west.
- Remove the shipping containers for cycle storage from the courtyard. The provision of space for cycle storage should be integrated within the footprint of buildings A and B.
- Use light reflective material to the internal elevations, which will positively contribute to the sense of spatiality.
- For the courtyard of block C, increase the dimension between both eastern and western wings making a shallower eastern wing.

Internal Configuration and Circulation:

The residential typology used in blocks B and C, of 'double-stacked' units served from an interior corridor inherently generates a high proportion of single aspect bed spaces. Although the townhouse typology of block A is arguably different in terms of the series of cores serving the bed spaces in vertical circulation, it equally generates a high proportion of single aspect units. The single aspect nature of the majority of bed spaces compounds the effects of compromised outlook/ sunlight/ daylight/ privacy where the proximity of the buildings cause both light obstruction and privacy issues.

The knock on implications of this extends to sustainability, in terms of increased reliance on artificial light and mechanical ventilation. Evidence also suggests this has negative impacts on the health and well-being of residents, for example higher tendencies towards anxiety and depression where adequate levels of daylight/ sunlight are not achieved.

It is noted an addendum to the daylight/sunlight report has been submitted. There are concerns around the approach to summarising the findings of the daylight/sunlight assessment. It is not made clear how the scheme performs against the BRE standards or how adjusted targets have been selected. For instance it is unclear if a comparative context has been used, and whether the adjusted targets have been used consistently across the site. Interrogation of the tables appended to the report would suggest more significant impacts than the summary offers.

If the configuration of the long circulation in block B is to be entertained, the positive feature of a through-core of this building must be decisively enhanced. The following amendments are recommended:

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

The AOV and duct on the lounge and the staircase areas respectively should be repositioned to allow a largest glass partition to provide a proper dual aspect.

Following the fire engineer consultant's recommendation, fire resistant glass should be used, including insulation value on the relevant doors and partitions. Additional clerestories over bed space doors are also recommended.

For the vertical circulation in building A, internal large windows should be provided to the staircase core and additional clerestories over bed space doors.

For both blocks, a generous roof light over the staircase is required.

Height, Scale and Massing:

The massing adjustments referred to above are required to allow sunlight penetration to the courtyard.

Conclusion:

The principle to redevelop the site and provide an intensification of use is supported from a design perspective. The intention to reinstate street frontages along Unity Street and Jacob Street is supported, and the general footprint of the urban layout is broadly appropriate. Although during the process of the current application the amount of development has decreased and design improvements have been incorporated, the scheme still cannot be fully supported from a design perspective. The comments above highlight how the scheme departs from Local Plan policies and Urban Living SPD guidance. As such an endorsement for approval could not be supported on design grounds. It is therefore highly recommended the applicant reconsiders the design and addresses the identified advice.

Following the submission of final revisions on 2nd December, it is noted that the amount of development has further decreased and design improvements have been incorporated. These amendments overcome the concerns raised above and the scheme now complies with Local Plan policy and the Urban Living SPD Guidance. As such an endorsement for approval is supported.

A full assessment of the development against the Urban Living SPD criteria is set out in Appendix 3.

Landscape Design:

The latest revisions [received on 2nd December 2019] respond positively to comments made on the previous scheme layout; modifications to building B will admit more sunlight into the main courtyard which also benefits from the removal of the majority of the cycle parking containers, change of surface treatment to hard paving and a better relationship between ground floor access points and courtyard layout. Revisions to create a more pedestrian friendly link from Jacob Street to Unity Street through the introduction of a third flight of steps is welcome. The change of surface treatment from an interpretation of water using a resin bond material to a diagonal paving feature is probably an improvement but does not appear to be explained within the Design and Access Statement. The introduction of trees into this route, however, is a positive revision; given the location of these trees into a hard surface warrants a detail of the tree pit construction which could be provided as a condition to approval. The provision relating to the planting of street trees Unity Street with the approval of Highways is noted.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Generally the submitted revisions make for a more robust and user friendly landscape layout and can be supported for approval.

Conservation:

The site lies within the Old Market Conservation Area in a back-land location sandwiched between Jacob Street, an historic service lane, and Unity Street which forms the boundary of the CA. To the east is Midland Road, one of the main streets through the area. The special character of the site area is limited and there are few material remains of value within its boundary aside from rubble stone boundary walls surrounding it. Jacob Street has a well-established character; a hotchpotch of industrial buildings of 2-3 storeys from the early Twentieth Century and earlier on the north side of the road has some survivals on the south side, now being incorporated into new development. Midland Road is a uniform street on the east side with terraced houses and commercial shops of smart character from the mid C19th.

The most sensitive heritage asset that would be affected by development of the application site is the Grade II-star Listed Barnstaple's Almshouse. This is a complex of Victorian gothic revival buildings that replaced an earlier 15th Century building. The almshouse is broadly laid out as two long wings running back from Old Market Street and parallel with Midland Road, with a central garden space between them. Architecturally they are a set-piece with considerable picturesque effect derived from projecting bays, pointed gables, steep pitched roofs and tall landmark chimneys. The south end of the east range terminates in an ornamental bay window facing across the application site, albeit now obscured by trees and bushes from that angle.

The proposed development is a series of large blocks of 4-5 storeys with a generally Victorian/early 20th Century industrial aesthetic. This is not out of character with the special character of this part of the Conservation Area. The 3-4 storey development onto Jacob Street is of town house type units that gradually step down with the terrain and are acceptable in the current context.

The street façade to Midland Road steps down at its northern end and there is a degree of space created between the development and Barnstaple's Almshouse. Although the north façade of the new development could have responded better to the bay window as an important architectural feature of the listed building it does not pose harm. The scale of the Midland Road element would not interfere with the ornamental skyline of the almshouses and would be read separate from it in the streetscape.

The development would ensure the preservation of the special character of the Conservation Area through its scale, massing, materiality and design. The replacement of a currently detracting, negative, industrial shed on the site represents an enhancement. The policy requirements protecting the Conservation Area are therefore fulfilled. Although the relationship between the new-build and Barnstaple's almshouses could be improved by further setbacks and better architectural response to the end bay it does not pose harm to the setting under the definitions of the national Planning Policy Framework. We therefore conclude that the development will pose no harm to the designated assets around the site.

Archaeology:

The submitted documents and previous archaeological works in the vicinity of this proposed development has established that this site has some archaeological potential.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

I agree with the submitted assessment that the impacts to the likely archaeological resource can be mitigated through a programme of further works secured by appropriate conditions. These further works should enable the record of any remains relating to the historic development of Old Market prior to their destruction.

Transport Development Management (TDM)

The site is located between Unity Street, Midland Road and Jacob Street. All three roads are subject to a 20mph speed limit and are within the Easton and St Philips Residents Parking Scheme. The surrounding area consists of a mixture of commercial, light industrial and residential uses. Unity Street connects Temple Way to Midland Road via Broad Plain. It also offers links to Avon Street via New Kingsley Road/Russ Street/New Thomas Street. There are double yellow lines on both sides of the carriageway as well as on-street parking bays. Where it meets Midland Road there is a box junction. To the right on the opposite side is Waterloo Road which via Trinity Street offers connections to West Street and Clarence Road.

To the left looking towards the junction with Old Market Street/Lawfords Gate/West Street is a cycle lane behind which, as on the opposite side of the carriageway, is on-street parking. To the rear of the site is Jacob Street. This connects to Old Market Street via a very narrow stretch of carriageway that runs alongside Barnstaple House which is only wide enough for one vehicle to pass at a time. There are double yellow lines on both sides of the carriageway. All of the on-street parking can be used by permit holders Monday to Friday from 9am to 5pm or for pay and display parking, but only for a maximum of two hours. There have been three recorded accidents adjacent to the junctions previously mentioned.

Transport Statement

A Transport Statement has been submitted in support of the application. After reviewing the number and frequency of bus routes primarily on Old Market Street/Temple Way, rail services from Temple Meads Station as well as cycling and walking routes within the city centre and across Bristol it concludes that the site is in a highly sustainable location. It also examines the functional nature of the highway network and the number of accidents that have occurred within the vicinity of the site, concluding that these have been as a result of driver error and not due to any fundamental problems with the design and construction of the road network. To determine the potential impact the development may have an analysis of two-way trips that could be generated using data from TRICS was undertaken. This concluded that the extant use would generate approximately 111 two-way trips in the AM peak and 89 in the PM peak. In comparison the proposed development would generate 91 two-way trips in the AM peak and 96 in the PM peak. It should be noted that a proportion of the trips to the extant use are by car, whereas the proposed use will be car free. Overall the statement concludes that the development would not be detrimental to the safe functioning of the surrounding highway network. Transport Development Management concurs with this assessment.

Travel Planning

A Framework Travel Plan has been submitted. This sets out a number of measures to help promote the use of sustainable transport. These include: producing a Travel Information Pack; participating in national promotional events; offering an on-site cyclist repair scheme; providing a travel noticeboard;

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

organising a Bicycle Users Group, promoting a cycle to work scheme as well as offering cycle vouchers and a week's worth of bus tickets. A number of targets have been set which chiefly focus on reducing the use of public transport and increasing walking/cycling. For students the choice of transport will greatly depend on where their campus is located. To manage the delivery of the action plan and monitor travel patterns through regular travel surveys, a Travel Plan Co-ordinator will be provided. A Travel Plan Management and Audit Fee of £8,781 (£5,165 for the student accommodation and £3,616 for the co-living units) applies, which will need to be secured through a Section 106 Agreement.

Section 106 Contributions

The following Section 106 contributions are required:

- Traffic Regulation Orders £11,448
- Travel Plan and Audit Fee (Student Flats) £5,165
- Travel Plan and Audit Fee (Co-living Flats) £3,616

A contribution was also sought towards upgrading a bus shelter although this has not been included as the applicant declined to fund it.

Traffic Management Plan / Traffic Regulation Order

In line with similar schemes, students will be able to occupy their flat for the entire academic year. This will reduce the number of trips the site would generate as well as any potential disruption of the surrounding highway network. To manage the arrival/departure process a Traffic Management Plan has been submitted. This sets out that arrivals will be phased over a weekend and that everyone will be given a time slot which will last 30 minutes in which they can check in, be shown their room and then move their belongings in. applicant proposes to utilise the on-street parking bays on Unity Street which it is estimated will be able to accommodate up to 11 vehicles per hour. Prior to arrival they will be issued with a plan of local carparks where parents/guardians etc can wait whilst the student is checking in.

Only once this has been completed will they be able to utilise the on-street bays in front of the building, to park and offload their belongings within a 30 minute window. Arrivals will be phased over a weekend. The on-street parking spaces can be temporarily reserved.

A Traffic Management Plan has been submitted. To prevent parking on the double yellow lines opposite the site, the applicant has agreed to fund an all-day no loading ban on both Unity Street and Jacob Street. The cost of the associated Traffic Regulation Order (£5,724) as well as the separate fee for the signing and lining will be met by the applicant and secured via a Section 106 Agreement.

Footway Improvements / Speed Reduction Measures / Junction Improvements / Street Lighting

The site faces onto Jacob Street, Unity Street and Midland Road. Currently both Jacob Street and Unity Street have a number of vehicle crossovers which will no longer be required. The applicant has agreed to reinstate the footway to full kerb height. It must also be completely resurfaced around the entire length of the site. A dropped kerb will be provided to enable Bristol Waste crews to easily manoeuvre four wheeled bins onto the carriageway. Along the façade on Unity Street granite setts will be installed. To improve visibility at the junction with Midland Road the existing rubble stone wall will be 0.6m high. 0.5m high walls will be constructed on Jacob Street. Due to the relative straight

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

carriageway the applicant agreed to undertake a speed survey. This revealed that average speeds to the 85th percentile were 24mph in both directions. As this is only marginally above the 20mph speed limit and taking into consideration the fact that there haven't been any recorded pedestrian related injuries, the applicant does not consider that any speed reduction measures are required. TDM concurs with this assessment.

At the request of TDM to tighten the bell mouth of the junction between Unity Street and Midland Road, a Manual Turning Count was undertaken. This recorded a number of LGV's. Swept path analysis submitted for a 16.5m articulated vehicle indicates that this vehicle would currently stray over the centreline on Midland Road into the opposing traffic flow and that tightening the bell mouth would make this worse. As a result TDM accepts that this cannot be achieved. Due to the likely increase in the number of pedestrians using Jacob Street as a result of the provision of a pedestrian link (see below) it was requested that length of carriageway from the bend as far as Old Market Street be reviewed, as the footway along it is extremely narrow. As the existing stone rubble wall is being retained, this request is not possible, which TDM acknowledges. To support the increase in pedestrian footfall and vehicle movements associated with the site the street lighting along Jacob Street, Unity Street and Midland Road will be upgraded. Due to the amount of work required, the applicant will enter into a Section 278 Agreement and obtain a Section 171 Licence in order to excavate the adopted highway.

Pedestrian Links / Site Layout / Retaining Walls

To improve connectivity through the site the applicant proposes to create a pedestrian route through the site from Unity Street to Jacob Street, called Babers Walk. Due the level difference across the site, the route will feature a set of steps. These will include corduroy hazard strips at the top and bottom as well as anti-slip nosings/treads. A ramp has not been provided due to the level difference between Unity Street and Jacob Street and the fact that Jacob Street is cobbled and would therefore not be conducive to wheelchair users. A cycle ramp will be provided and the route will be designated as a permissive route. A separate footpath will be provided between Midland Road and Babers Walk, which will run parallel to Unity Street. It is unclear if this will also be designated as a permissive route. This must be clarified. Both must be suitably illuminated. Two gated courtyards will be provided for the exclusive use of residents and their visitors. The gates will be constructed to Secured By Design standards.

Servicing

To support the servicing of the site the applicant proposes to install a 17.5m long Loading Bay on Unity Street. Swept path analysis has been provided to demonstrate that an 11.4m long refuse vehicle can safely manoeuvre in/out. The cost of the associated Traffic Regulation Order (**£5,724**) and the separate fee for lining, signing and any resurfacing will be met by the applicant. There is currently an electricity substation within the site. This will be retained.

Car Parking / Cycle Parking

The applicant proposes that the site would be car free, with the exception of five disabled parking spaces on Unity Street. In order to install these as well as provide an additional area of pay and display/permit holder only parking, the cost of the associated Traffic Regulation Order (**£5,724**) as well as the separate cost for lining and signing will be met by the applicant. To enforce the site being car free, the applicant proposes to include a clause with the students/residents Tenancy Agreement that

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

will forbid them from owning a car. The site lies within a Residents Parking Scheme and residents of the site would not be eligible to apply for a parking permit. This would address the concerns raised within a number of the objections received. In respect of cycle parking the applicant proposes to provide an internal cycle store that will contain both two-tier racking and Sheffield Stands. Sheffield Stands will also be provided for visitors on Babers Walk and Unity Street, both of which will be overlooked. Overall a total of 240 cycles will be able to be accommodated on site. This is in line with Bristol Central Area Plan Policy BCAP29: Car and cycle parking and the Old Market Neighbourhood Plan Policy T1 and T3.

Waste

The applicant proposes to provide two waste stores. The applicant proposes to leave the bins at the end of Babers Walk for collection, a strategy which has been agreed with Bristol Waste. A Waste Management Plan must be prepared and submitted.

Construction Management

Due to the impact the proposal would have on the highway network during the demolition and construction period, the applicant will undertake a Highway Condition Survey, the extent of which would be determined by Highways Maintenance as well as produce and submit a Construction Management Plan.

Recommendations

Transport Development Management has no objections to the proposals and considers them acceptable on highway safety grounds.

Sustainable City Team:

The Energy and Sustainability statement is comprehensive and the proposed approach is clearly presented.

As proposed the scheme will achieve a 20.27% reduction in residual emissions.

The reduction in energy demand through improvements in fabric efficiency and reductions in air permeability are noted and welcome.

The Energy Statement proposes a day-one connection to the heat network, secured via a 106 agreement, which is strongly supported.

The strategy also proposes roof-mounted PV to reduce residual emissions.

Broadband:

The scheme will meet BCC policy requirements.

Materials:

The Sustainability Statement says that *'All materials specified will be of a robust and durable nature. A detailed assessment of the maintenance and end of life strategies will be considered for material components at risk of damage, heavy use or exposure to weather conditions'*. This is again supported.

Overheating analysis and measures to reduce the risk of overheating:

Development Control Committee B – 18 December 2019

Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

The overheating analysis submitted is welcome.

The Statement and supporting analysis proposes a number of measures to reduce solar gain and reduce the risk of overheating, including measures which could be retrofitted at a later date.

Other issues:

The applicant has agreed to provide an EV charging point for the disabled parking space.

Nature Conservation

A bat survey did not record evidence of roosting bats. Trees, shrubs and other vegetation will be removed as part of the proposal. No Objections are raised, however, conditions are recommended.

Air Quality

The operational impacts relating to the effect of existing air quality conditions at the development site are considered to be acceptable. The air quality assessment has demonstrated that the proposal has the potential to generate dust during demolition and construction activities. Appendix E of the air quality assessment shows a list of 'highly recommended' and some 'desirable' dust mitigation measures. The highly recommended and desirable measures should be included within a dust management plan.

There are no concerns related to air pollution should the dust mitigation measures, as outlined in Appendix E of the air quality assessment be implemented.

Archaeology

The submitted documents and previous archaeological works in the vicinity of this proposed development has established that this site has some archaeological potential.

The impacts to the likely archaeological resource can be mitigated through a programme of further works secured by appropriate conditions. These further works should enable the record of any remains relating to the historic development of Old Market prior to their destruction.

Flood Risk Team

The information supplied for the site's drainage strategy has been reviewed and is acceptable. A condition is recommended to ensure the drainage system is implemented in accordance with the sustainable drainage strategy submitted.

Pollution Control

An acoustic report has been submitted with the application which is acceptable with regards to the insulation of the residential parts of the development against current noise in the area. The application also includes some workshop/work units (B1) on the ground floor to Block B and C however the potential for noise from these B1 uses has not been dealt with in the report. Noise from these units, along with ensuring the recommendations of the acoustic report are carried, does give some concern and conditions are therefore recommended.

Development Control Committee B – 18 December 2019
Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

Land Contamination

Overall the preliminary assessment undertaken is acceptable, utilising a range of sources and including a site walkover. The report concludes that further investigation is required which is agreed.

We would like to make some additional commentary regarding on site uses that we sourced and provided to Delta Simons in November 2018, however the submitted report does not include this information and in fact states there has been no response from the Local Authority Contaminated Land Officer in relation to the status of the site.

Prior to any intrusive works we recommend the information provided is considered when designing the investigation strategy. Whilst we welcome submission of a Phase 2 Site Investigation prior to determination, if this is not possible we have no objection to the investigation taking place post demolition.

Conditions are recommended.

Tree Officer Comments:

The proposed seeks to remove all of the existing trees from site. These consist of T1 Willow, T2 Rowan, T3 & T4 Silver Birch and T5 Whitebeam; these are all moderate quality trees that if remove can be replaced with a high quality landscape and tree planting scheme.

The removal of the 5 tree would require 12 replacement trees or a pro rata financial contribution of 12 X £765.21 = £9182.52 in accordance with the planning obligation SPD, tree replacement standard.

The landscape proposals plan (Dwg 1999-TF-00-00-DR-L-1001) identifies 17 replacement trees within the redline of the development and a further 6 indicative trees located within the footway on Unity Street that need to be secured but are not currently quantified due to the lack of services information. The 17 tree mitigates the loss of the former trees on site in full and no financial contribution is required if this plan is conditioned. No species have been identified on this drawing.

The superseded Soft Landscape Proposal (Dwg 1999-TF-00-00-DR-L-3001) shows the landscape area running for west to east planted with a mix of birch species. Monoculture planting such as this is not conducive to future proofing the site to climate change of pest and disease resistance. I do not object to the use of either *Betula pendula* or *Betula nigra* these are appropriate to the location however at least half of the trees should be of a different family, genus and species and therefore I would recommend *Pinus sylvestris*. This species mixes well with birch in planting schemes and will grow well in this environment.

The central pedestrian route is proposed to be planted with *Prunus Kanzan*. This species has significant surface roots that will disrupt the paved surface in the area and will lead to their early removal. A species that would do well in this location would be *Katsura tree (Cercidiphyllum japonicum)* This has an upright form (but not fastigiated) that would be able to grow with little maintenance into maturity. The tree offer good autumn colour and a fragrance of burnt sugar (Candyfloss) during this period.

5 Trees adjacent to Block C are proposed as *Acer Campestre* 'Streetwise'; this is an appropriate species for this location and I have no objections.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

The species comments may be out of date, however, with the lack of a detailed Tree Species List this is important to get right with a development of this scale.

No planting pit designs have been presented and within a new development such as this I would suggest a Stockholm style planting pit that utilises an aggregate and biochar growing medium and utilises natural rainwater drainage to supplement the watering requirements to establish the tree. This would need to be implemented within the areas of hard standing.

EXTERNAL:**Crime Reduction Unit**

After reading through the supply demand of student accommodation in Bristol I understand how we still have a short fall and this area would be perfect for them to have easy access to the universities by all the transport ready available in this area. However student accommodation is a specialist accommodation, which has its own needs, additionally its own crime risk.

Home Office research shows that:

“Students are, statistically, one of the most likely groups to fall victim to crime. Students own more expensive consumer goods per head than the rest of the population. It is no surprise then that 1 in 3 students becomes the victim of a crime each year. Added to that fact, young people (aged 16 to 24 year old) are around three times more likely to be victims of burglary than people in other age groups, which makes students all the more vulnerable.”

In the DAS statement there is very little on security measures /standards that will be designed into the scheme. The following is recommended:

All ground floor entrance doors should be to BS PAS 24: or LPS 1175 (SR 1). These standards are the entry level for security doors.

Fire Exit Doors: Should be metal with no outer door furniture, fitted with hinge bolts and be linked to any alarm system within the building. As a minimum they should be fitted with an unmonitored screech alarm to reduce opportunity for the doors to be propped open.

All Studio apartment doors should be certified to BS PAS 24:

Communal Unit or Cluster Room doors: These doors should be to BS PAS 24: or LPS 1175 (SR1). These standards are the entry level for security doors.

Individual student room entry doors should be of robust construction. A BS 8621 or PAS 8621 lock should be fitted and additionally two hinge bolts.

Access Control: There should be full access control, with students living on site having access via a proximity card or fob system. I suggest that the same fob system is used for access to the communal facilities such as the bike store, laundry and courtyards.

I recommend compartmentalisation is used in conjunction with the access control system, restricting students to the floor of which they legitimate need to be on.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Postal delivery: There should be a secure mail delivery system in place located in the communal entrance. These should be of a robust construction and incorporate “anti-fishing” properties and if possible this area should be protected by CCTV.

Each cycle store must be secure and would ideally also be accessed by key fob or similar, the locking system must be operable from the inner face by use of thumb turn to ensure residents are not accidentally locked in and fitted with a self-closing facility to prevent unauthorised access to these areas. The cycle stores must also be provided with secure cycle stands.

There should be suitable lighting for internal areas as well as external areas, and should be suitable for planned CCTV. All entrance doors must be illuminated.

There should be good recognition standard CCTV inside covering various areas such as:-

- The main entrance.
- Communal area and student post boxes.
- Stairs and lifts on all floors.
- Lift entrances on all floors.

Good management affects how a development functions therefore on this development such considerations should be also taken into account :-

- Hours and duties for on-site staff.
- Maintenance of CCTV and maintenance of site.
- Maintenance and management of fob access control system.
- Dealing with postal deliveries.
- Maintenance of cycle security and making sure students register their cycles with Immobilise or Bike Register in hope to reduce theft of Cycles.
- To ensure emergency exits are not used as informal entrance / egress points.
- Hostile Vehicle Mitigation recommended to mitigate the risk of an individual using a vehicle as a weapon, where a large number of students are accessing / leaving accommodation.
- The well-being and support of students residing at this proposed development including the safety aspect on travelling to and fro to their Universities and social activities including late night venues, as there have sadly been incidents in Bristol and locally Bath, where young adults have drowned in the Harbour and river areas.

Lastly, approved Document Q of schedule 1 of the building regulations 2010 that came into force on October 1st 2015 creates security requirements in relation to windows and doors including those that are easily accessible. Windows and doors must reach the required PAS 24:12 certification and standards as set out in this document.

Avon and Somerset Constabulary operates the Secured by Design initiative. This is a scheme which promotes the inclusion of architectural crime prevention measures into new projects. Consideration should be given to applying for Secured by Design (SBD) certification as this would ensure minimum standards of physical security. Implementing Secured by Design has proved to reduce the number of burglaries where it has been implemented.

Should the developer apply for Secured by Design (SbD) then the SbD accreditation would exceed the requirements of Approved Document Q.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Secured by Design is a Police crime prevention initiative that focuses on the security of buildings and results in the issuing of a Secured by Design Certificate. This certificate is acceptable to local authority building control officers and improved inspectors as a means of discharging the aforementioned regulations.

Once a development has been completed, the main opportunity to incorporate crime prevention measures has gone. Careful design need not cost more if considered from the outset.

Bristol Waste

Raise no objections, and advise that the developers refer to the Planning Guidance for Waste and Recycling produced by the Bristol Waste Company.

KEY ISSUES:

For information, any policies quoted in the report with the prefix BCS are from the Core Strategy, DM are from the Site Allocation and Development Management Plan, and BCAP are from the Bristol Central Area Plan. Policies quoted from the Old Market Quarter Neighbourhood Development Plan will be referred to using the prefix OMNP. Similarly, draft policies quoted from the Bristol Local Plan Review will be referred to using the prefix BLPR.

A: IS THE PRINCIPLE OF THE DEVELOPMENT ACCEPTABLE?

The site is occupied by three warehouse / industrial buildings. Policy BCS8 states that outside of the designated Principal Industrial and Warehousing areas (such as this site), employment land will be retained where it makes a valuable contribution to the economy and employment opportunities. Policy BCAP7 states that employment sites in Old Market should be retained for employment use unless it can be demonstrated that:

- There is no demand for employment uses; or
- Continued employment use would have an unacceptable impact on the environmental quality of the surrounding area; or
- A net reduction in floorspace is necessary to improve the existing premises, or
- It is to be used for industrial or commercial training purposes.

It should also be noted that Paragraphs 117 and 118 of the National Planning Policy Framework (NPPF) encourage the effective use of land, particularly previously-developed or 'brownfield' land, in meeting the need for homes and other uses. Similarly, although at draft stage and having little 'weight', Draft Policy UL1 of the BLPR encourages development to make efficient use of land by developing under-used land and buildings.

In terms of the occupation of the site, the situation is as follows:

Kingsown House: the ground floor and first floor is occupied by Amphora Aromatics (although their lease is 'holding over' whilst they are seeking alternative premises. The applicant purchased the site from them in the summer of 2018).

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Units 1 / 2: lower ground floor, upper ground floor and first floor occupied by Bristol Stair and Joinery Co. on a below market rent.

Unit 1A: upper ground floor is vacant, first floor level is vacant

Unit 3: Lower ground, upper ground and first floor levels occupied by Midas as site office in connection with adjacent construction works.

In accordance with BCAP7 a report was submitted with the application dated March 2019 providing details of a marketing exercise undertaken between January and August 2018, when the property was sold.

The report states that throughout the marketing campaign there were no credible or deliverable enquiries on either a leasehold or freehold basis for employment use on the site.

The report further added that the existing commercial accommodation on the site is not considered to be commercially viable for business use by either developers or occupiers.

In view of the above it is considered that the proposals comply with Policy BCAP7.

Proposed Employment Floorspace

Policies BCS8, OMNP Policy C1 and BLPR Draft Policy E7 all encourage new employment floorspace as part of mixed-use developments. Policy C1 encourages the provision of flexible space suitable for accommodating a variety of business uses, including small office spaces and workshops integrated into residential development. Policy BCAP6, concerning the delivery of employment space in Bristol City Centre, states that in Old Market the emphasis will be on the provision of small-scale flexible workspace suitable for a wide range of employment uses.

The development makes provision for 528m² of flexible co-working space for 'start-ups' or small and medium-sized enterprises (SMEs), at lower and upper ground floor level. This would offer a purposely designed platform for SMEs to access desk space and meeting rooms in a flexible working environment, without the need for securing long term office tenancies. The marketing report commented that this element of co-working and business space would provide a sustainable commercial alternative to replace the existing buildings, which will attract less mature, smaller companies who require flexibility on leases and space that is easy to occupy without significant expenditure.

An Economic Impact Assessment was submitted with the application which estimates that the new employment floorspace would generate approximately 57 jobs, compared to the existing site's potential capacity of 85 jobs, based on the standard employment densities from Homes and Communities Agency Employment Densities Guide 3rd Edition, 2015.

Although the proposed scheme in comparison will have less employment capacity of 28 jobs, the economic benefits of the proposed scheme overall may well be greater than the current uses, as expressed within the Economic Impact Assessment. Also, as noted above, the existing employment space is variously occupied with a number of tenants due to vacate or having vacated already.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

On this issue, it is therefore considered that there is no planning policy objection to the loss of the existing warehouse / light industrial units which are not commercially viable, and which will be mitigated through the re-provision of employment floorspace on site.

B. IS THE NATURE AND MIX OF USES PROPOSED APPROPRIATE?

Policy BCS2 expresses that Bristol City Centre's role as a regional focus will be promoted and strengthened and that development will include mixed uses for, among others, offices and residential. The policy identifies Old Market as an area where continued improvement will be promoted, and states that major developments should demonstrate measures to enhance social inclusion and community cohesion, especially in respect of those communities close to the City centre.

Policy BCAP1 states that new development in Bristol City Centre will be expected to contribute to the mix of uses in the wider area. A mix of new homes, employment and other uses will be sought as appropriate to the site and its context.

Student Accommodation

Policy DM2 includes consideration of student accommodation and states that specialist student housing schemes will be acceptable within the city centre, although they will not be permitted where the development would

(i) harm the residential amenity or character of the area through noise and disturbance from levels of activity; levels of on-street parking that cannot be reasonably accommodated; detrimental impact of physical alterations to buildings; or inadequate storage for refuse/recycling and cycles, or;

(ii) would create or contribute to a harmful concentration of such uses within a locality as a result of exacerbating existing harmful concentrations including those listed at (i) above, or reducing the choice of homes in the area by changing the housing mix.

Policy BCAP4 refers to student housing and states that specialist student housing schemes that contribute to the diversity of uses within the local area will be acceptable within Bristol City Centre unless it would create or contribute to a harmful concentration of specialist student housing within any given area. The policy also acknowledges the benefit the growth of specialist student housing in the city centre in relieving pressure on the local housing stock.

The policy further comments that in areas with a strong residential context, such as Old Market, concentrations of student housing should be avoided.

Finally BCAP4 states that when making assessments on residential amenity, consideration should be given to the particular qualities and characteristics of a residential area or residential uses that might contribute to it being an enjoyable or otherwise satisfactory place to live. These usually include generally quieter surroundings; a reasonable level of safe, accessible and convenient car parking and a well maintained and visually attractive environment.

Emerging policy (H7 and DS3) within the Bristol Local Plan Review seeks a more directive approach to the location of specialist student accommodation. Relevant policy within this document is however at an early stage in its preparation, with unresolved issues, such that it cannot reasonably be afforded

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

significant weight at this time. As with current adopted policy, the issue of harmful concentration of specialist student accommodation remains a consideration within emerging policy.

There are already a number of purpose-built student developments within a 400m radius of the site as shown on Appendix 1. These are as follows (with bedspaces shown in brackets):

Jacob Street (202 – under construction)

Print Hall (267)

Market Gate (489)

Phoenix Court (277)

Total = 1,235

Of these, the Jacob Street and Print Hall developments are in closer proximity to the site, while the Market Gate and Phoenix Court schemes are further removed and are more separated through their location being to the north of Old Market Street. Appendix 1 also shows that the main residential areas in Old Market lie to the East and South East of the site, although the site is abutted by residential uses to the immediate north of the site and across the site on Midland Road.

In total, the number of residential records on the LLPG (Local Land and Property Gazetteer) within a 400m radius of the site is 2,830, of which 575 are attributed to the purpose-built student developments detailed above.

Taking account of these numbers, the location of the four large student accommodation schemes and the existing areas of residential development, it is not considered that the addition of a further 189 students as a result of this development would lead to a significant proportion of housing in the area that would limit housing choice. Moreover, taken together with the co-living housing to be developed on the site (see below) the development can be said to increase housing choice within the area.

It should be noted that a recent appeal (APP/Z0116/W/18/3212806) for a student development of 345 bedrooms at Wilder Street was allowed on 5th September 2019. Within the decision letter, the planning inspector commented that “There are no absolute limits in what would represent a harmful concentration” [of students] and that potential adverse impacts “...can generally be addressed by the efficient management of the complex and enforcement of tenancy agreements”.

In considering whether the development would be detrimental to the residential amenity and/or character of the area, consideration is needed of the immediate context.

Jacob Street is a relatively quiet cul-de-sac which serves some residential properties as well as the rear of Barstaple House. Car parking is very limited and restricted to users of a local residents' parking permit scheme. There is a significant slope from north to south, with the north edge of the proposed development fronting the street with the appearance of 3 storey townhouses (Block A) matching the height of the buildings opposite, while opposing Barstaple House to the south would be the flank walls of the two wings of Block C, lined up with the end wings of Barstaple House. Pedestrian access to the town houses (with 102 student bedspaces) would be from the north via David Street, Jacob Street or via an east-west pedestrian link between Midland Road and Jacob

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Street. Access to the remainder of the development is also via Jacob Street, making use of the proposed north-south pedestrian link, or from Unity Street to the south.

This area is considered the most 'sensitive' to development by reason of the close proximity of existing residents, the relatively quiet setting and the presence of a Grade II* listed building (Barstaple House). Clearly, the development will bring change to the area through the introduction of many new residents passing through Jacob Street in particular. However, while this will be noticeable and may cause some disturbance, this is a central location within a wider busy mixed use area where levels of activity can be expected to be higher. The scheme has been carefully designed to respect the scale and character of the area and not harm the setting of the listed building (see Key Issue F below).

With respect to the remainder of the site, the main frontage of the site facing south on Unity Street (Blocks B and C) is opposite the large Gardiner Haskins car park, while the east elevation of Block C is separated from existing commercial and residential development by Midland Road. The western edge of the site abuts the new mixed student/residential development that is yet to be occupied. These aspects of the scheme are again well designed, taking full account of their surroundings and would present a visually attractive environment. Amendments have been made to the scheme to minimise its impact on adjoining residents to the west.

On the issue of management, the agent states that the applicant works in tandem with well-reputed management companies whom engage with the local community to ensure that disruption is minimised. A detailed Student Management Plan has been submitted in support of the application, the contents of which can be secured through use of a planning condition.

There are no concerns raised in relation to servicing arrangements.

The student accommodation would not result in the loss of existing housing, and whilst the housing mix would be altered in percentage terms, this would not be at the cost of family housing. Taken together with the introduction of co-living accommodation, the development would not result in local housing imbalance and would in fact increase housing choice.

One further point to note is the relatively low level of public response to the proposals and the introduction of student accommodation, although in saying this it should be noted that the adjacent student development is not yet completed and its impact is yet to be felt. On this issue the Old Market Community Association commented as follows: *"... we support development of this site, but, have some concerns about the concentration of student accommodation in the immediate vicinity. The Market Gate building, the Print Hall and the Hawkins Street development accommodate over 1200 students. This development would add another 210 [189] students in Old Market. While we welcome the reduction in the number of students from the 352 proposed at pre-app stage, it is still a significant addition."* The OMCA added that substitution of part of the student accommodation with 'conventional housing' would overcome their concerns. However, the applicant decided against making this amendment.

Taking all the points raised above into account, it is considered that while there is some objection to the proposed student accommodation, on balance this can be supported, as it would not lead to a harmful concentration and on assessment of design and amenity is found to be acceptable.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Co-Living Housing

The development proposals incorporate 102 no. co-living studio units within Block C. It is appreciated that co-living is not a widely known concept in Bristol; however, it is becoming more commonplace in large cities, namely London.

The applicant describes purpose built co-living as catering directly for an identified housing need amongst 18-35 year old young professionals / key workers, who may be unable to purchase a property and would otherwise require HMO accommodation. They allow residents to live independently in studio accommodation (the units would be approx. 20sqm) whilst having access to communal facilities such as lounges, cinema rooms, kitchen/dining rooms (available to hire by residents) and laundry / concierge facilities. Through the use of shared facilities, co-living accommodation successfully creates a sense of community amongst residents. The minimum length of tenancy would be 3 months. There would be no maximum length of stay.

The applicant has agreed that as part of a Section 106 Legal Agreement students would be excluded from the co-living accommodation.

The Bristol Local Plan is silent in respect of co-living accommodation, however the Urban Living SPD states: "Higher density residential developments need to incorporate a variety of accommodation to meet the needs of families, elderly, co-living and those with specific accessibility needs, rather than just focusing on young professionals."

It is considered that the proposals are in accordance with Policy BCS18 of the Core Strategy, which seeks a mix of housing types and sizes to help support the creation of mixed, balanced and inclusive communities.

In conclusion on this key issue, taken together with the co-working element of the proposed development described in Key Issue A, the mixed of uses proposed on the site is considered acceptable and consistent with Policies BCS2, BCAP1 and OMNP C1.

C. DO THE PROPOSALS PROTECT THE RESIDENTIAL AMENITY OF ADJOINING OCCUPIERS IN TERMS OF PRIVACY, SUNLIGHT AND DAYLIGHT?

Policy BCS21 expects development to safeguard the amenity of existing development and create a high quality environment for future occupiers. Policy DM2 requires development to provide a good standard of accommodation by meeting relevant requirements and standards and not adversely impacting neighbouring amenity. Policy DM29 expects new buildings to safeguard the amenity of the host premises and neighbouring occupiers.

Jacob Street:

The existing occupants of Jacob Street would be most affected by the proposals through the development of the town houses (Block A) directly opposite them to the south at a distance of approximately 9 metres. This has raised concerns over the loss of the open aspect they currently enjoy and a loss of sunlight / daylight and privacy.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

The existing largely open aspect facing the northern side of Jacob Street is not commonly found in such a central location and it is to be expected that some form of development would in time close this open 'feel', as has started to happen with the adjoining Hawkins Street development adjoining the site to the east. Historically, Jacobs Street had building frontages on the back edge of the pavements running down both sides of the road, although the uses at that time were employment related and not residential. However, in design terms, the re-creation of a mews style environment albeit for residential and not employment use is considered appropriate and in keeping with Jacob Street's central location.

This design approach is reflected in the Old Market Neighbourhood Development Plan, which contains a detailed design code. At Appendix 3 this states that building heights to eaves or to the top of parapets should be no more than twice the distance from the facade of the building to the centre of the street or lane. As noted by the Old Market Community Association, applying this scale to Jacob Street gives a maximum height of 11 metres, and the proposed building height is 9 metres which complies with this criterion. The OMCA also support the proposed building line on the back edge of the pavement.

A daylight and sunlight assessment was submitted with the application which states the following in respect of the properties located directly opposite the site on Jacob Street.

"The site and surrounding area is undeveloped, which is uncommon for an urban location. As such, any reasonable massing on the site would produce percentage alterations beyond that of the suggested [British Research Establishment: BRE] guideline values. This would create an unrealistic basis for assessing the potential daylight and sunlight impacts along Jacob Street and Barstaple House. Appendix F of the BRE Guidelines provides alternative target values for this scenario. Paragraph F4 of the BRE Guidelines states: "... a typical obstruction angle for a mews in a historic city centre might be 40 degrees with a corresponding VSC* [vertical sky component] of 18%..." It is clear from historic photography that similar massing existed along Jacob Street and it would be reasonable to set an alternative VSC target criteria of 18%, when assessing the potential daylight and sunlight aspects."

Daylight:

The results of the VSC assessment indicate that all but 3 of the windows in properties on Jacob Street directly facing the proposed development meet the alternative VSC target of 18%. Of the 3 that fail, two are understood to serve stores and the third is served by an alternative window.

A further analysis was done to assess the No Sky Line* (NSL) which showed that the majority of the rooms would be fully compliant with the BRE Guidelines, and that where there were transgressions, the rooms affected would remain well lit.

Sunlight:

With the exception of one transgression, all windows assessed would be fully compliant with the Annual Probable Sunlight Hours (APSH) criteria. The one remaining window would retain a winter APSH of 4%, against the target criteria of 5% in winter months.

With regard to Barstaple House and the Hawkins/Unity Street consent (to the west) which are also affected by the proposals, the analysis shows the following:

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

Barstaple House:

Daylight:

The VSC and NSL assessment show that all windows and rooms assessed would be fully compliant with the BRE alternative target criteria.

Sunlight:

Except for 3 transgressions, all windows assessed would be fully compliant with the APSH criteria. The remaining 3 windows would retain a winter APSH of between 2% and 4%, against the target criteria of 5%. However, all windows would exceed the APSH criteria for annual sunlight.

In summary, while the development will obviously have an impact on the residents of Jacob Street and Barstaple House with loss of views and some privacy, it is perhaps unreasonable to expect their existing open aspect to be retained in such a central location characterised by high density development. The daylight and sunlight assessment shows that all of the properties affected would still receive acceptable levels of daylight and sunlight.

Hawkins/Unity Street:

Daylight:

The VSC assessment shows that 27 of the 38 windows assessed would be fully compliant with the BRE Guidelines. Of the remaining 11 windows, 10 windows have alterations of between 21% and 58% and all but 2 of the rooms would comply with the NSL criteria. All rooms comply with the alternative target criteria.

Sunlight:

All windows assessed would comply with the APSH criteria.

It should be noted that the predicted daylight /sunlight assessment will have improved following the latest revisions received on 2nd December, following the removal of end bedrooms in Block A.

*Diagrams and text explaining VSC and NSL are shown at Appendix 2.

D: WOULD THE PROPOSED DEVELOPMENT PROVIDE A SATISFACTORY LIVING ENVIRONMENT FOR FUTURE OCCUPIERS?

Policies BCS21 and DM2 require developments to create a high-quality environment for future occupiers. OMNP Policy C5 states that proposals for new residential development will only be permitted where a satisfactory standard of amenity and privacy can be provided.

In terms of daylight and sunlight, the results of the assessment demonstrate a good level of compliance with the BRE Guidelines which is considered commensurate with similar developments of the proposed scale and layout.

There are no required space standards for student housing, or the proposed co-living accommodation which is also sui generis. The student accommodation is similar in character to other purpose built

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

accommodation of this kind. The co-living accommodation has a similar format although the size of the studios are larger, and during the course of negotiation on this application additional communal areas were added on each floor to add to the large communal areas provided at ground floor level. These areas are for cooking, dining and socialising, and are intended to foster the spirit of communal living.

In terms of outdoor space, again through negotiation the two courtyards have been enlarged. The courtyard between Blocks A and B now complies with BRE Guidelines which recommend that at least half of an outside amenity area should receive at least two hours of sunlight on 21st March. The courtyard at Block C has been widened by 2 metres and would meet the BRE guidelines for 21st June. The surface treatment of the courtyard between Blocks A and B has also been changed so that it is more durable taking account of its expected level of usage. A roof garden is also provided for the co-living accommodation in Block C.

Given the distances between elevations it is considered that the degree of overlooking is considered acceptable.

The quality of the internal and external spaces proposed is considered satisfactory, and would provide good accommodation and an acceptable standard of amenity given the high-density nature of development proposed.

E. WOULD THE DEVELOPMENT SATISFACTORILY ADDRESS TRANSPORT AND MOVEMENT ISSUES?

Policy BCS10 and DM23 seek to ensure that new development is accessible by sustainable transport methods such as walking, cycling and public transport. Development should also not give rise to unacceptable traffic conditions. OMNP Policy T1 states that development proposals should be designed to reduce the environmental impact of vehicular traffic and encourage movement on foot and by bicycle. Policy DM32 requires adequate refuse and recycling provision in new development.

The site is in a highly sustainable location due to its proximity to the city centre, Temple Mead Station, several principle bus routes, cycling and walking routes. It is within the Easton and St Philips Residents Parking Scheme.

The development is proposed to be car free, with the exception of 5 disabled parking bays to be provided on Unity Street. This is considered acceptable as it does not raise any safety concerns. This is because any parking on-street can be effectively controlled through the presence of the residents parking scheme to reduce issues about safety. In terms of cycle parking, a total of 240 parking spaces would be provided. The parking proposals comply with the relevant policy: BCAP29.

A transport statement was submitted in support of the application and a travel plan setting out measures to promote the use of sustainable transport. A traffic management plan has also been submitted to manage the arrival/departure process.

The servicing and proposed waste collection points are considered acceptable.

No objections are raised on highway grounds.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN****F: IS THE DESIGN AND CHARACTER OF THE PROPOSAL ACCEPTABLE AND WOULD IT HARM ANY HERITAGE ASSETS?**

Policies BCS21, DM26, DM27, DM28 and DM29 set out the design requirements that new buildings should achieve. Policies BCS22 and DM31 relate to heritage assets (including Listed Buildings and Conservation Areas) and seek to preserve or enhance heritage assets. The National Planning Policy Framework defines 'conservation' as 'the process of maintaining and managing change to a heritage asset in a way that sustains and, where appropriate, enhances its significance'. Section 16(2) of the Planning (Listed Buildings and Conservation Areas) Act 1990 express the need for special regard to be given to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses, while section and 72(1) requires special attention to be paid to the desirability of preserving or enhancing the character or appearance of a Conservation Area.

Policy BCS2 (Bristol City Centre) expresses that the design of development will be expected to be of the highest standard in terms of appearance, function, conservation of heritage assets, sustainability and maintaining and enhancing green infrastructure. Key views will be protected.

Policy BCAP46 expects development in Old Market to respond strongly to the historic character of the area in terms of its scale and massing, grain and the choice of materials used and the reinstatement where appropriate of historic routes through the area.

OMNP Policy B1: states that development that would affect the setting of heritage assets and features, identified as listed, unlisted buildings of merit, and character buildings on Map 3: Assessment of Building Quality should pay special regard to their historic and visual interest.

OMNP Policy B2: states: The design of new development must take account of the history and setting of the Old Market Quarter. New buildings should be designed to be sympathetic to the height and design of neighbouring buildings, street width and frontage lines. Development proposals should also have regard to the Old Market Quarter Design Code set out in Appendix 3.

The site lies within the Old Market Conservation Area. The Grade II* Barstaple House is located adjacent to the north of the site, and 39 Midland Road, an unlisted buildings of merit is in close proximity to the site. The OMNP defines nos. 1-37 Midland Road as character buildings.

The proposal would introduce three buildings of between 3 and 5 storeys, and creates new frontages on Unity Street, Midland Road and Jacob Street, largely recreating the historic pattern of development in the area. The general footprint of the urban layout is appropriate and the proposed north-south and east-west pedestrian routes are welcomed and will improve permeability through the site.

In terms of height and massing, following the receipt of amendments, the height of Block C has been reduced and all building heights are seen to both comply with the OMNP Design Code and respect the scale of adjacent street and buildings. The street façade of Block C to Midland Road steps down at its northern end and a degree of space is retained between the building and Barstaple House. The separation, step-down and natural slope of the land ensures that the setting of the listed building is not harmed, and the scale of Block C ensures that there is no interference with the ornamental skyline of Barstaple House.

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

The appearance of the development is supported and can generally be described as having a Victorian or early 20th century industrial aesthetic which respects the historic character of the area. The 'town house' style of the 3 storey units on Jacob Street are seen as appropriate for that context.

Following negotiation street trees are now proposed on Unity Street, and with the agreed changes to the courtyards introducing more appropriate surface treatments and relocating much of the cycle parking, the appearance and utility of the outdoor spaces is acceptable.

The overall design of the scheme is supported and would ensure the preservation of the special character of the Conservation Area through its scale, massing, use of appropriate materials and design. Indeed, the replacement of the currently unsympathetic commercial buildings with the proposed development represents an enhancement to the appearance of the Conservation Area.

An assessment of the development against the Urban Living SPD criteria is set out in Appendix 3.

G: IS THE AMOUNT OF AFFORDABLE HOUSING PROPOSED ACCEPTABLE?

Policy BCS17 requires affordable housing in residential developments of 15 dwellings or more, and in central locations, a 40% target will be sought.

However, the Affordable Housing Practice Note (AHPN), April 2018, was introduced to provide interim measures to speed up the delivery of affordable housing. The guidance introduced a 'threshold' approach, whereby schemes offering 20% on-site affordable housing in central locations would be accepted.

While there is no current policy requirement for purpose-built student accommodation to contribute towards affordable housing, there are no policies that exempt 'co-living', from an affordable housing requirement.

Taking advantage of the 'threshold' approach set out in the AHPN, the applicant is proposing that 20% of the co-living studios would be offered at 80% of the market rent, which can be secured through legal agreement. This offer is acceptable in principle, although the final terms on how it will be applied and managed have yet to be decided.

H: WOULD THE PROPOSAL SATISFACTORILY ADDRESS SUSTAINABILITY AND CLIMATE CHANGE ISSUES?

BCS13 to BCS15 forms a suite of planning policies relating to climate change and sustainability. It requires development to both mitigate and adapt to climate change. This includes new development to minimise its energy requirements, address issues of sustainable design and construction and also water management issues to reduce surface water run-off.

The energy and sustainability statement submitted is comprehensive and fully addresses these policy requirements. The development would include sufficient renewable energy generation to reduce carbon dioxide emissions from residual energy use by 20.27% (the policy requirement is 20%).

Development Control Committee B – 18 December 2019**Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN**

The statement includes a BREEAM pre-assessment which concludes that the development would achieve a BREEAM rating of 'Excellent'.

The development would connect to the heat network and this would be secured as part of a Section 106 legal agreement which is welcomed.

The statement and supporting analysis also proposes a number of measures to reduce solar gain and reduce the risk of overheating, including measures that could be retrofitted at a later date.

I: EQUALITIES ASSESSMENT

During the determination of this application due regard has been given to the impact of this scheme in relation to the Equalities Act 2010 in terms of its impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. There is no indication or evidence that different groups have or would have different needs, experiences, issues and priorities in relation to this particular proposed development. Overall, it is considered that neither the approval nor refusal of this application would have any significant adverse impact upon different groups or implications for the Equalities Act 2010.

SUMMARY:

This scheme concerns the replacement of three commercial buildings, partially used for employment purposes with a mixed use development to comprise of 189 student bedspaces, 102 co-living studios and 525 square metres of co-living workspace. It follows a pre application that was to redevelop the site solely for student use.

The main issue centres on whether this balance of uses is acceptable, especially the introduction of a further 190 students in an area that has witnessed a number of purpose built student developments over the last few years.

In considering the proposal and its potential impacts, the three principal concerns were whether the development would contribute to the diversity of uses in the area; whether the development would contribute to the mix of housing in the area and whether the development would harm the residential amenity and character of the area. For the reasons set out above it is considered that the development would not lead to any unacceptable harmful impacts to the area, and that the introduction of co-living studios and co-working space would add positively to the mix of accommodation and employment uses available.

The design of the scheme, with its new street frontages to Jacob Street, Unity Street and Midland Road, is supported, as is the proposed layout with its internal courtyards, landscaping and introduction of two new pedestrian routes, introducing permeability through the site. The Victorian, early 20th Century industrial aesthetic of the design pays tribute to the site's heritage and is seen as an enhancement to the appearance and character of the Conservation Area. The setting of the adjacent Grade II* listed Barstaple House is also respected.

Development Control Committee B – 18 December 2019

Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

In all other respects the scheme is considered acceptable and is recommended for approval.

COMMUNITY INFRASTRUCTURE LEVY (CIL)

The CIL liability for this development is £666,717.19

RECOMMENDATION:

Approve subject to a Section 106 Planning Agreement to cover the following:

- Provision of Affordable Rent in 20% of the Co-Living Studios
- Provision of Street Trees
- Connection to the Heat Network
- Exclusion of students from the Co-Living Housing (Block C)

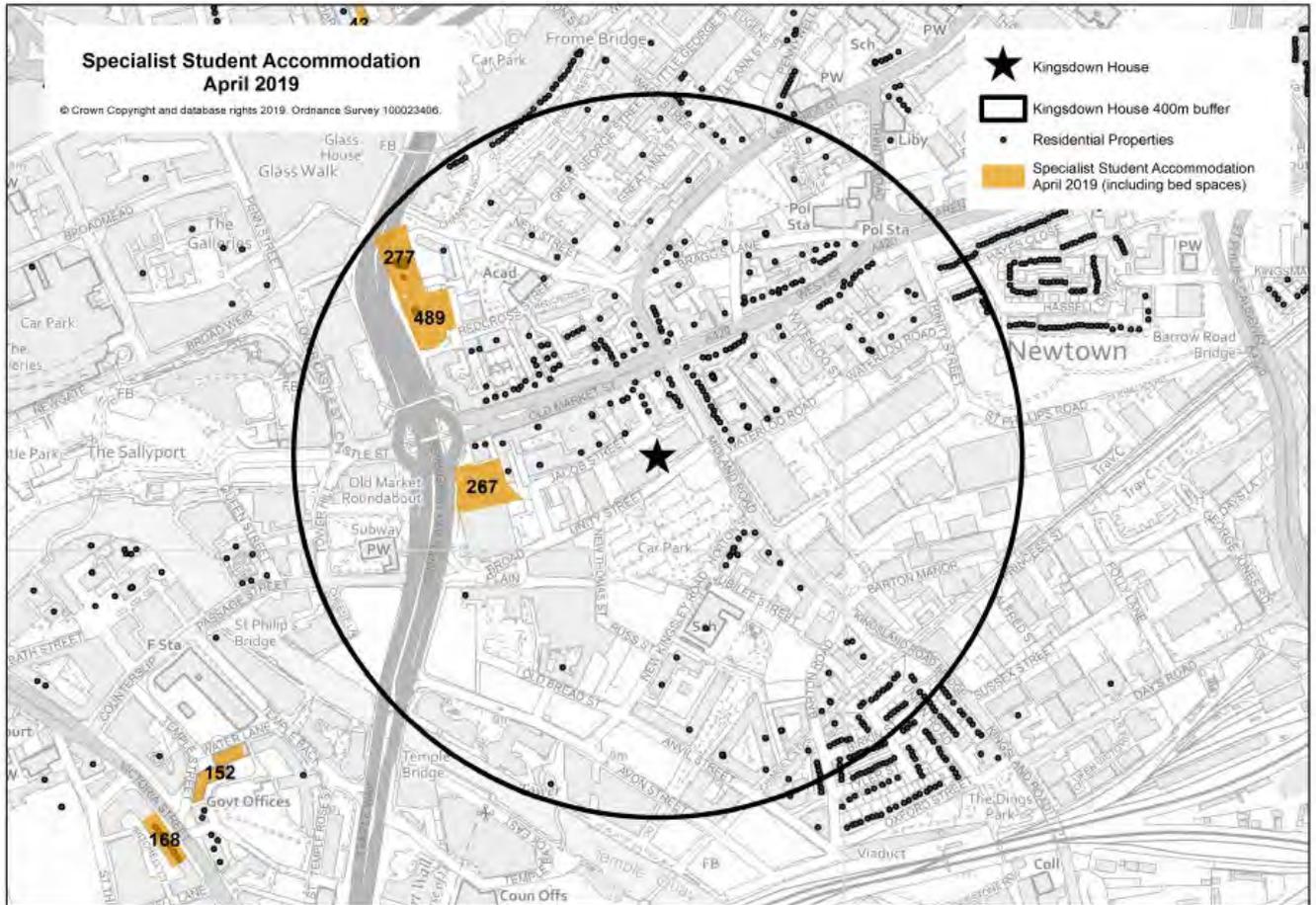
Request delegated authority for officers to prepare the required planning conditions to cover the following issues:

- Archaeology
- Detailed Design
- Landscaping
- Land Contamination
- Highways
- Construction Management
- Nature Conservation
- Air Quality
- Pollution Control
- Flood Risk
- Sustainability
- Broadband Connectivity

Appendix 1: Specialist Student Accommodation

Development Control Committee B – 18 December 2019

Application No. 19/01690/F : Kingsdown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN



Appendix 2:

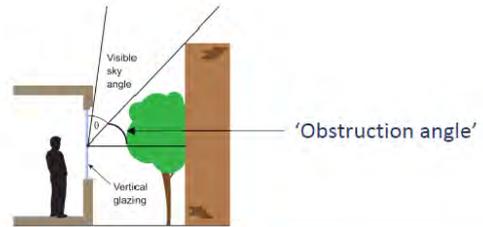
Vertical Sky Component:

Daylight Access - 1

- CIE Overcast Sky
- Orientation irrelevant
- Obstacles and room properties

Vertical Sky Component (VSC)

- *Ratio of direct sky illuminance falling on vertical surface at a reference point to horizontal under unobstructed sky*
- Measure at centre of pane
- Maximum 40%



VSC	θ	Impact on design
$\geq 27\%$	$> 65^\circ$	Conventional window design adequate
15 - 27%	45 - 65°	Special measures (larger windows, changes to room layout)
5 - 15%	25 - 45°	Very difficult to achieve adequate daylight
$< 5\%$	$< 25^\circ$	Impossible to achieve adequate daylight (even with curtain walling)

No Sky Line:

Daylight Access - 2

No Sky Line (NSL)

- Point at which working plane sees the sky
- Areas beyond NSL tend to look gloomy irrespective of external brightness

Development Control Committee B – 18 December 2019

Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

Appendix 3:

Urban Living SPD:

1. Major Developments	
Guidance/questions relevant to all major schemes, regardless of land use	
City	
<p>Q1.1 - Has the scheme adopted an approach to urban intensification which is broadly consistent with its setting?</p> 	<p>The proposed development is of a height and density comparable to the setting. Old Market is currently undergoing significant change and investment, with the site immediately to the east currently under construction for purpose-built student accommodation and 49no. residential dwellings, within buildings ranging from 3 to 8 storeys in height (ref. 17/02313/F). The proposed building sits comfortably within this context, as well as the more residential nature of Midland Road and Barstaple House.</p>
Neighbourhood	
<p>Q1.2 - Does the scheme contribute towards creating a vibrant and equitable neighbourhood?</p> 	<p>The proposed development is for the erection of a mixed-use development, comprising student housing, co-living studios, and co-working space, which will replace the existing poor-quality employment space. The proposed development will create a more vibrant and interactive use compared to the existing, thus contributing to the wider neighbourhood.</p>

CDG comment and observations on the UL Assessment – December, 2019		Rating
Comments		
CITY		
Q1.1	<ul style="list-style-type: none"> + Evidence of design-led capacity study + Scale and massing approach considered further assessment to parameters against existing properties + Appropriately identifies context (emerging, existing) 	
NEIGHBOURHOOD		
Q1.2	<ul style="list-style-type: none"> + Mix of student accommodation, co-living studios and co-working space - No appropriate identification of housing needs, gaps in local amenities - Only 1 bed-spaces rooms with no other types to contribute to diversifying existing housing stock + Enhancement of pedestrian and cycling routes and new public space + Enhancement and new provision of Green infrastructure + Evidence of community involvement and engagement 	

	<p>The development of residential uses above employment floorspace, alongside communal/public spaces allows for the future residents, as well as existing residents within the surrounding area to mix and create a sense of community. The co-working space has purposely been located within Block C, at the prominent junction of Unity Street and Midland Road, thus creating an active and vibrant frontage.</p> <p>The co-living element introduces a new building typology and tenure to Bristol City Centre and will create a strong sense of community, given the shared access to facilities and amenity areas.</p>
<p>Q1.3 - Does the scheme respond positively to either the existing context, or in areas undergoing significant change, an emerging context?</p> 	<p>The existing site contains underutilised industrial units which are of poor architectural quality. The proposed development will greatly improve the appearance of the site, whilst respecting the height and scale of the established and emerging built context.</p> <p>In particular, careful consideration has been given to the relationship with the neighbouring Almshouses (Grade II Listed), with a building of similar footprint, extending upon the central courtyard design.</p>
Block and Street	
<p>Q1.4 - Does the scheme provide people-friendly streets and spaces?</p>	<p>Active frontages are provided along Unity Street and Midland Road, which will provide natural surveillance. Building entrances have also been located to provide vibrancy and activity.</p> <p>The scheme increases permeability within the area through the inclusion of new pedestrian connections</p>

Q1.3	<ul style="list-style-type: none"> + Responding to emerging building height along Unity St and Jacob Street + Positive response to existing context, or consolidating the emerging context + Identification of key views, heritage assets etc. with no interference to the neighbouring Almshouse from the scale of the proposed development <p>Room for improvement:</p> <ul style="list-style-type: none"> • <i>Considering further setbacks and better architectural response from new development to the end bay of Barstaple's almshouses</i> 	
BLOCK AND STREET		
Q1.4	<ul style="list-style-type: none"> + Public realm enhancements along all existing route and creation on new ones with active frontages 	

Development Control Committee B – 18 December 2019

Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

	(north-south and east-west). These routes run will be attractive, with courtyards on either side, as well as safe with passive surveillance where people will feel at ease using.
<p>Q1.5 – Does the scheme deliver a comfortable micro-climate for its occupants, neighbours and passers-by?</p>	<p>The Daylight/Sunlight Assessment submitted in support of this application identified that the proposed scheme would not cause a significant loss of daylight or sunlight to neighbouring uses. The proposed height of the development will also allow for daylight to reach public spaces within the development, including the two shared courtyards.</p> <p>The proposed development will also provide shaded spaces during the summer months to create comfortable environment for future residents and users of the site.</p>
<p>Q1.6 – Has access, car parking and servicing been efficiently and creatively integrated into the scheme?</p>	<p>The proposed development is to be 'car-free', except for disabled spaces which will be provided immediately adjoining the application site. A 'car free' development for student housing is supported by Emerging Proposal ULH 6. A restriction upon future residents being able to apply for a parking permit can be controlled through S106 obligations, and residents (both students and co-living) will be restricted from parking through their tenancy agreements.</p> <p>There is a car club space immediately adjacent to the site on Unity Street which will be encouraged to be used by future residents.</p> <p>It is not proposed for any vehicles to access the site, all servicing will take place from Unity Street within a dedicated loading bay. The refuse stores will be</p>

<p>Q1.5</p> <ul style="list-style-type: none"> - There are concerns around the approach to summarising the findings of the daylight/sunlight assessment. - Block dimensions that not allow for natural ventilation + Positive response to orientation + Decreased height and massing at the end of buildings A and B next to neighbouring new development is positive + Recess at the top floor on buildings B and C helps to reduce the overbearing massing to the courtyards 	
<p>Q1.6</p> <ul style="list-style-type: none"> + Car Free development + Secure cycle parking provided + Bin collection, servicing and other highway issues resolved 	

	integrated into Block B and Block C, which will be easily accessible to all residents and private refuse collection will be arranged through the Management Company, with refuse vehicles utilising the servicing bay.
<p>2. Residential Developments</p> <p>Guidance/questions relevant to all schemes which incorporate residential use</p>	
<p>Shared access and internal spaces</p>	
<p>Q2.1 – Does the scheme make building entrances welcoming, attractive and easy to use?</p>	<p>All entrances to the buildings are directly from the public realm at lower ground level, with individual entrances to each of the town houses (Block A) along Jacobs's Street. Blocks B and C both have their main entrances along Unity Street directly from the street.</p> <p>The scheme will be managed, with staff onsite on a daily basis. Access to the bedrooms is expected to be controlled through use of a fob, that will allow access to bedrooms, flat doors, block doors and communal areas. One single fob will be used for access to each part of the development and therefore making entrances easy to use. Each of the accesses to Blocks B and C enter into a lobby/communal space that would be welcoming for both residents and visitors.</p>
<p>Q2.2 – Are the scheme's internal spaces convivial, comfortable and user-friendly?</p>	<p>The internal corridors in all blocks are 1.2-1.4m wide throughout the whole scheme to ensure they allow the comfortable movement of building users. Through the use of large windows, the scheme allows natural light into communal spaces, in particular the double height windows along the Unity Street elevation of</p>

<p>SHARED ACCESS AND INTERNAL SPACES</p>	
<p>Q2.1</p> <ul style="list-style-type: none"> + Well-articulated and legible entrances within the elevations of suitable scale and design for the proposed numbers of inhabitants + Entrances provided directly from the public realm + Ground floor units provided with individual entrances + Although reduced, there are threshold spaces - Ground floor units do not have scope for boundary treatment and landscape for privacy 	
<p>Q2.2</p> <ul style="list-style-type: none"> - Long internal corridors with not enough natural light and ventilation + Width of circulation areas are generous enough to allow comfortable movement + Positive feature of a through-core of building B has been enhances to allow introduction of some double aspect into central core and the introduction the natural light and ventilation into some circulation areas + Appropriate types and amount of communal amenity facilities + Provision of some communal storage areas 	

Development Control Committee B – 18 December 2019
Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

	Block C. The main communal areas are large open spaces that allow for natural light, ventilation, and easy movement for all users. The co-living element provides generous shared internal amenity spaces in the form of lounges, kitchen/diners and concierge facilities. Consequently, the internal design allows for social interaction between residents within comfortable spaces.
Private outdoor space	
Q2.3 – Does the scheme provide sufficient outdoor space? 	The development as a whole provides 992sqm of communal outdoor space for all residents, in the form of the shared courtyard and a roof terrace. This is considered sufficient to serve residents of the proposed development, as well as the scheme providing the wider public benefit of the pedestrian walkways.
Q2.4 – Does the scheme create attractive, well designed and well maintained private outdoor spaces? 	The proposed scheme provides two communal courtyards that will be for the use of future residents only. The communal amenity space between Blocks A and B will be demarked and separate from the public path that runs between Unity Street and Jacobs Street by a fence in order to create a safe and clearly marked space that is separate from the public realm. Windows from the residential units within Blocks A and B will face out over the communal courtyard creating a sense of passive surveillance. The courtyards will be directly accessible for all residents, with doors leading from the buildings into the communal courtyards.

PRIVATE OUTDOOR SPACE		
Q2.3	+ Scheme provides the required amount of private open space (this is a combination of private balconies and terraces and communal private space) 1326sqm external=14.5sqm/resident + The space provided is of a size and shaped that allows flexible use by all residents regardless of mobility + Every resident has access to some form of private open space (e.g. access to communal space if no private balcony etc).	
Q2.4	+ Balconies are at least 1500mm x 1500m - Further demonstration of sunlight penetration into the courtyard spaces was not satisfactory + Green infrastructure is well designed and allows for a variety of uses and functions.	

	Soft and hard landscaping has been incorporated into the design which creates a high quality environment, which is a significant improvement upon the existing.
Q2.5 – Does the scheme creatively integrate children's play? 	N/A
Individual homes	
Q2.6 – Are internal layouts ergonomic and adaptable? 	For student and co-living accommodation there are no national described space standards, however the development will provide high-quality environments for future residents, with student bed spaces ranging from 10 to 19sqm and co-living studios ranging from 19 to 33sqm, alongside the shared amenity space. These bed spaces are therefore larger than the Technical Housing Standards for bedroom sizes, which outlines that a single room should have an area of 7.5sq m and a double room should have a minimum area of 11.5sq m. Accessible bedrooms have been incorporated within the scheme for disabled users. Furthermore, level access is provided to all shared/communal areas, with lifts of adequate dimension to accommodate wheelchair users. The location of windows, doors, and built-in furniture has been carefully considered throughout the

Q2.5	N/A	
INDIVIDUAL HOMES		
Q2.6	Agree	

Development Control Committee B – 18 December 2019

Application No. 19/01690/F : Kingsown House & 1 - 3 Units Unity Street St Philips Bristol BS2 0HN

	<p>development in order to maximise the use of space for future residents.</p> <p>The upper floors have a floor-to-ceiling height of 2.4m across the whole development, with spacious communal areas at ground floor level which are comfortable with sufficient light and ventilation.</p>
<p>Q2.7 – Does the scheme safeguard privacy and minimise noise transfer between homes?</p> 	<p>The proposed development has been designed in order to limit the impact upon the amenity of any future residents or surrounding uses. This includes safeguarding residents privacy through adequate separation distance between Blocks to prevent a sense of overlooking from neighbouring properties.</p> <p>The proposed internal layouts have taken into consideration the potential for noise disturbance and hence the vertical arrangements have been "stacked" with bedrooms typically located above bedrooms. Adequate insulation will be used between internal walls, as well as around potential noise sources such as lifts and circulation spaces.</p> <p>As part of the submission of this application, a Noise Impact Assessment was submitted to the Council. This assessment concluded that with the proposed fabric construction and suitable ventilation provisions across the development will prevent unacceptable noise levels within habitable rooms from external noise sources such as road traffic and plant.</p>
<p>Q2.8 – Does the scheme maximise opportunities for daylight and sunlight of</p>	<p>The townhouse style accommodation of Block A allows outlook over Jacob Street as well as the internal courtyard.</p>

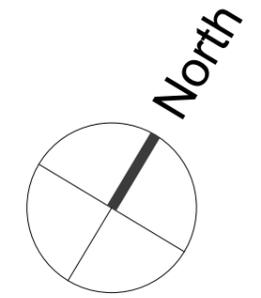
Q2.7	Agree	
Q2.8	Agree	

<p>Internal spaces; avoiding single aspect homes?</p> 	<p>Block B and Block C is unable to create dual aspect units, principally given the typology of accommodation and provision of singular suites/bedrooms.</p> <p>All bedrooms have a generous sized window, whilst maintaining a high level of privacy for future residents.</p>
<p>3. Tall Building</p> <p>Not Applicable - Guidance/questions relevant to schemes which are 30m high and above (or 10+ storeys)</p>	

Supporting Documents

2. Kingsown House & 1-3 Units Unity Street

1. Site location plan
2. Proposed block plan
3. Proposed lower ground floor plan
4. Proposed upper ground floor plan
5. Proposed first floor plan
6. Proposed site sections
7. Site context elevation (sheet 01)
8. Site context elevation (sheet 02)
9. Landscape proposals



- Application Boundary
- Building Footprint
- Building Footprint (Recent planning approval / under construction)



PL	P39	24/09/2019	Planning Issue
PL	P29	22/03/2019	Planning Issue
PL	P25	08/03/2019	Progress Issue for Comment

STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				Tom Eden
Summix				Checked by Kieran Lilley
ORIGINATOR NO				151989

CONSULTANT
STRIDE TREGLOWN
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Unity Street
 Bristol

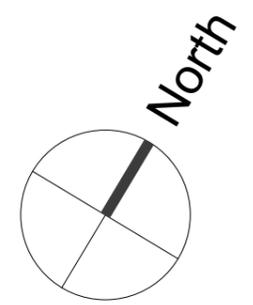
DRAWING TITLE
 Site Location Plan

SUITABILITY STATUS PL : PLANNING	As indicated @ A3
-------------------------------------	-------------------

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION REVISION	151989-STL-XX-XX-DR-A-ZZZZ-E9001 P39
---	--

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.

0mm 50mm



- Application Boundary
- - - Edge of Existing Building
- Proposed Building Footprint
- Existing Adjacent Buildings
- Building Footprint (Recent Planning Approval / Under Construction)

STATUS	REV	DATE	DESCRIPTION
PL	P42	29/11/2019	Planning Issue
PL	P39	24/09/2019	Planning Issue
PL	P29	22/03/2019	Planning Issue
PL	P25	08/03/2019	Progress Issue for Comment

CLIENT	Summix	REVISED BY	Tom Eden
CHECKED BY	Kieran Lilley	ORIGINATOR NO	151989

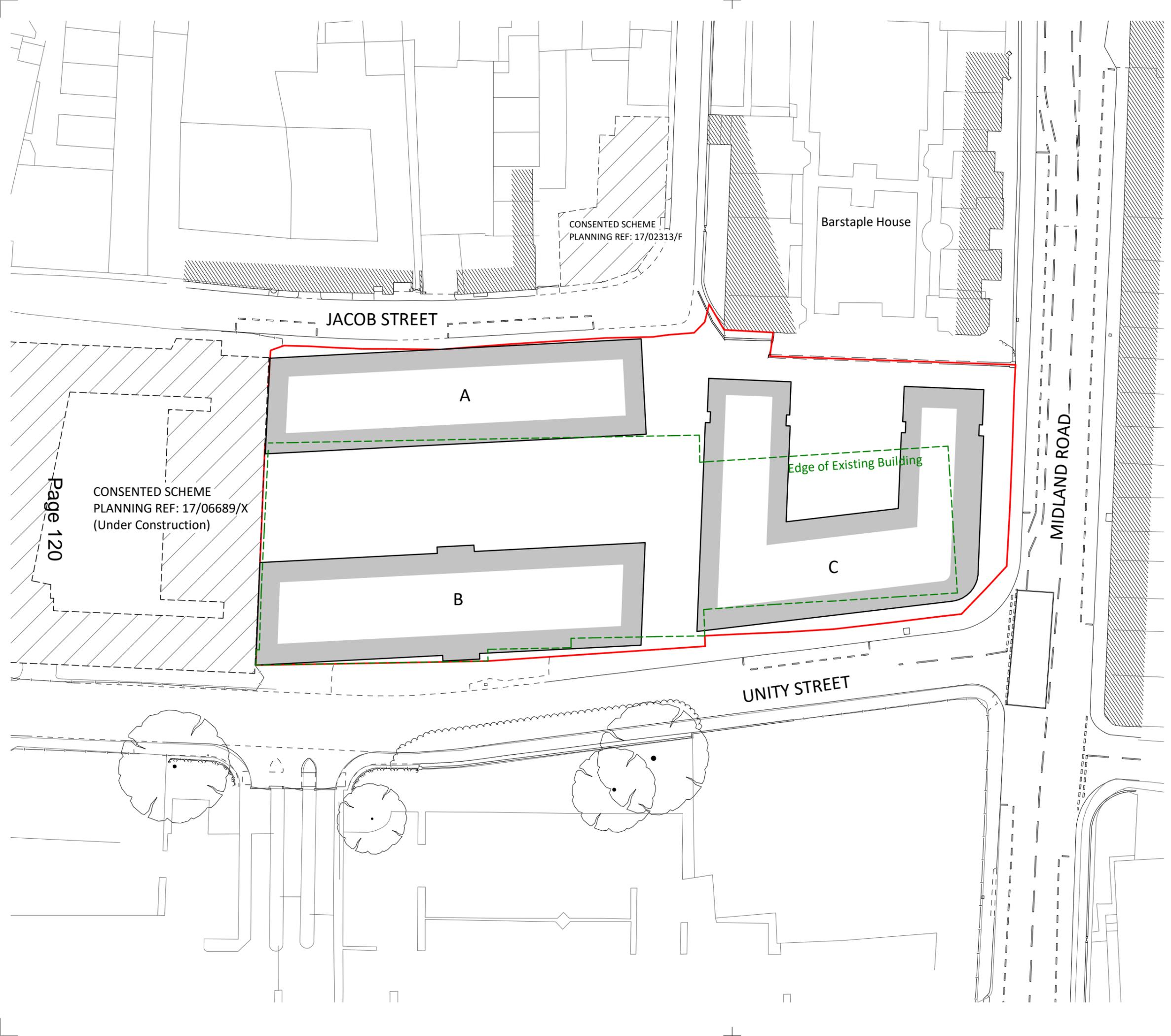
CONSULTANT
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PROJECT
Unity Street
Bristol

DRAWING TITLE
Proposed Block Plan

SUITABILITY STATUS	SCALE
PL : PLANNING	1 : 500 @ A3

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASS. NUMBER	REVISION
151989-STL-XX-XX-DR-A-ZZZZ-09001	P42

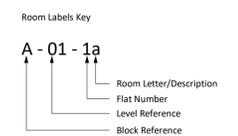


Page 120

Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.



- Room Types**
- Co-Working
 - Co-Living Common Room
 - Student Common Room
 - Staff Office
 - Laundry
 - Toilets
 - Cycle Store
 - Self-Storage
 - Refuse
 - Storage



Accommodation Schedule

Level Use	Block A (Student)	Block B (Student)	Block C (Co-Living)
Lr Ground	-	-	-
Up Ground	18 Bed	20 Bed / 1 Acc.B / 6 St	12 St
First	34 Bed	20 Bed / 1 Acc.B / 6 St	28 St / 1Acc. St
Second	34 Bed	12 Bed / 13 St	28 St / 1Acc. St
Third	16 Bed	10 Bed	25 St
Fourth	-	-	7 St
Sub Total	102 Beds	62 Bed / 2 Acc.B / 25 St	100 St / 2 Acc. St

191 Student Units (65%) / 102 Co-Living Units (35%)

TOTAL 293 Total Units

Refuse - Student Accommodation

Type of Waste	Size of Bins	Number Provided
Plastic / cans	360ltr	7
Glass	240ltr	3
Paper	240ltr	1
Card	1,100ltr	2
Food	140ltr	4
Refuse	1,100ltr	8

Refuse - Co-Living

Type of Waste	Size of Bins	Number Provided
Plastic / cans	360ltr	4
Glass	240ltr	2
Paper	240ltr	1
Card	1,100ltr	1
Food	140ltr	2
Refuse	1,100ltr	4

Cycle Storage

Accommodation Type	Residents	Visitors
Student Accommodation	1 space / 4 beds	1 space / 12 beds
Co-Living	1 space / 1 bed	1 space / 10 beds

Edge of Existing Building

Notes:
+0.00 - Proposed FFL heights
For existing / external levels - refer to Existing Siteplan E9003 or Landscape proposals
For further external details - refer to Landscape proposals

PL	REV	DATE	DESCRIPTION
PL P42		29/11/2019	Planning Issue
PL P41		30/09/2019	Planning Issue
PL P39		24/09/2019	Planning Issue
PL P36		19/09/2019	Planning Issue
PL P35		06/09/2019	Progress Issue
PL P33		20/08/2019	Planning Issue
PL P32		16/08/2019	Progress Issue for Comment
PL P31		17/04/2019	Planning Issue
PL P30		28/03/2018	Planning Issue
PL P29		22/03/2019	Planning Issue
PL P26		13/03/2019	Progress Issue for Comment

STATUS	REV	DATE	DESCRIPTION	REVISOR
CLIENT				TE
Summix				KL
				ORIGINATOR NO 151989

CONSULTANT
STRIDE TREGLOWN
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PROJECT
Unity Street
Bristol

DRAWING TITLE
Proposed Lower Ground Floor Plan

SUITABILITY STATUS
PL : PLANNING

SCALE
As indicated @ A1

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASS | NUMBER
151989-STL-XX-B1-DR-A-ZZZZ-01010

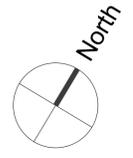
REVISION
P42

Note:
Area below ground level



Page 13
CONSENTED SCHEME
PLANNING REF: 17/06689/X

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All construction information should be taken from figured dimensions only.



Room Labels Key

A - 01 - 1a

- Room Letter/Description
- Flat Number
- Level Reference
- Block Reference

Room Types

- Co-Working
- KLD
- Bedroom
- Studio
- Accessible Studio
- Communal KLD
- Lounge
- Laundry

Accommodation Schedule

Level Use	Block A (Student)	Block B (Student)	Block C (Co-Living)
Up Ground	18 Bed	20 Bed / 1 Acc.B / 6 St	12 St
First	34 Bed	20 Bed / 3 Acc.B / 6 St	28 St / 1Acc. St
Second	34 Bed	12 Bed / 13 St	28 St / 1Acc. St
Third	16 Bed	10 Bed	25 St
Fourth	-	-	7 St
Sub Total	102 Beds	62 Bed / 2 Acc.B / 25 St	100 St / 2 Acc. St

191 Student Units (65%) / 102 Co-Living Units (35%)

TOTAL 293 Total Units

Refuse - Student Accommodation

Type of Waste	Size of Bins	Number Provided
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Refuse	1,100ltr	8

Refuse - Co-Living

Type of Waste	Size of Bins	Number Provided
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Card	1,100ltr	1
Food	140ltr	2
Refuse	1,100ltr	4

Cycle Storage

Accommodation Type	Residents	Visitors
Student Accommodation	1 space / 4 beds	1 space / 12 beds
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Edge of Existing Building

Notes:
+0.00 - Proposed FFL heights
For existing / external levels - refer to Existing Siteplan E9003 or Landscape proposals
For further external details - refer to Landscape proposals

PL	REV	DATE	DESCRIPTION
PL P42	29/11/2019	Planning Issue	
PL P41	30/09/2019	Planning Issue	
PL P39	24/09/2019	Planning Issue	
PL P36	19/09/2019	Planning Issue	
PL P35	06/09/2019	Progress Issue	
PL P33	20/08/2019	Planning Issue	
PL P32	16/08/2019	Progress Issue for Comment	
PL P31	17/04/2019	Planning Issue	
PL P30	28/03/2018	Planning Issue	
PL P29	22/03/2019	Planning Issue	
PL P26	13/03/2019	Progress Issue for Comment	

STATUS	REV	DATE	DESCRIPTION
Summit			

REVISOR: TE

CHECKED BY: KL

ORIGINATOR NO: 151989

CONSULTANT: STRIDE TREGLOWN

www.stride-treglow.com

PROJECT: Unity Street, Bristol

DRAWING TITLE: Proposed Upper Ground Floor Plan

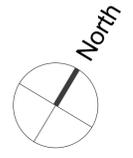
SUITABILITY STATUS: PL : PLANNING

SCALE: As indicated @ A1

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASS | NUMBER | REVISION: 151989-STL-XX-00-DR-A-ZZZZ-01011 P42



Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.



Room Types

Room Labels Key

A - 01 - 1a

- Room Letter/Description
- Flat Number
- Level Reference
- Block Reference

Room Types

- KLD
- Bedroom
- Studio
- Accessible Studio
- Communal KLD
- Lounge

Accommodation Schedule

Level	Block A (Student)	Block B (Student)	Block C (Co-Living)
Lr Ground	-	-	-
Up Ground	18 Bed	20 Bed / 1 Acc.B / 6 St	12 St
First	34 Bed	20 Bed / 3 Acc.B / 6 St	28 St / 1Acc. St
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TOTAL 293 Total Units

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Glass	240ltr	3
Paper	240ltr	1
Card	1,100ltr	2
Food	140ltr	4
Refuse	1,100ltr	8

Refuse - Co-Living

Type of Waste	Size of Bins	Number Provided
Plastic / cans	360ltr	4
Glass	240ltr	2
Paper	240ltr	1
Card	1,100ltr	1
Food	140ltr	2
Refuse	1,100ltr	4

Cycle Storage

Accommodation Type	Residents	Visitors
Student Accommodation	1 space / 4 beds	1 space / 12 beds
Co-Living	1 space / 1 bed	1 space / 10 beds

PL	REV	DATE	DESCRIPTION
P42	29/11/2019	Planning Issue	
P41	30/09/2019	Planning Issue	
P39	24/09/2019	Planning Issue	
P36	19/09/2019	Planning Issue	
P35	06/09/2019	Progress Issue	
P33	20/08/2019	Planning Issue	
P32	16/08/2019	Progress Issue for Comment	
P31	17/04/2019	Planning Issue	
P29	23/03/2019	Planning Issue	
P26	13/03/2019	Progress Issue for Comment	

STATUS | REV | DATE | DESCRIPTION

CLIENT Summix REVISD BY TE

CHECKED BY KL

ORIGINATOR NO 151989

CONSULTANT
STRIDE TREGLOWN
www.stridetreglow.com

PROJECT
Unity Street
Bristol

DRAWING TITLE
Proposed First Floor Plan

SUITABILITY STATUS
PL : PLANNING SCALE
As indicated @ A1

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASS | NUMBER
151989-STL-XX-01-DR-A-ZZZZ-01012 REVISION
P42



CONSENTED SCHEME
PLANNING REF: 17/02313/F

JACOB STREET

MIDLAND ROAD

UNITY STREET

Extension of Existing Parking Bays

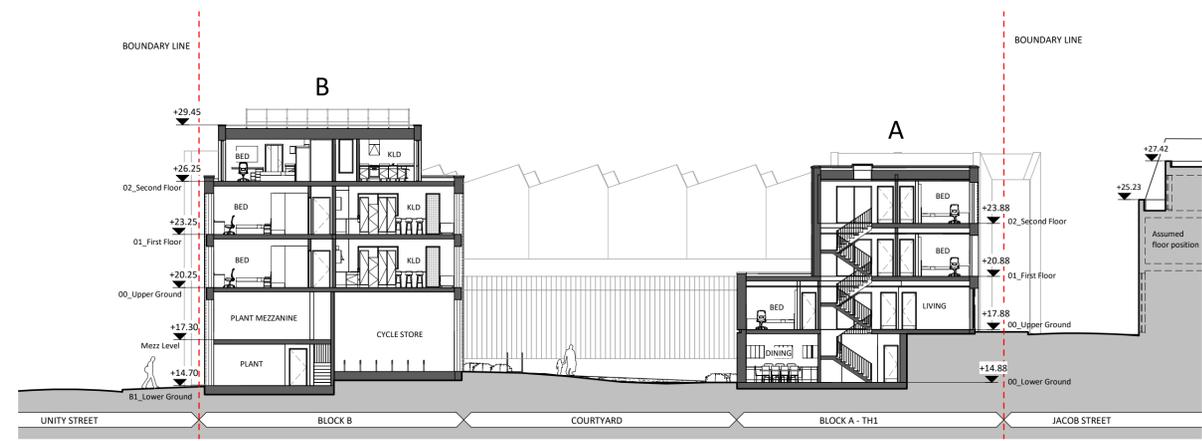
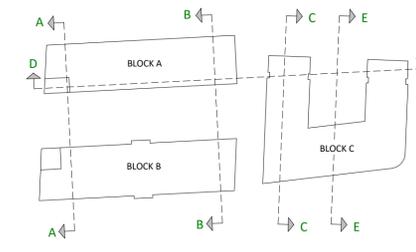
x5 Disabled Parking Bays

LOADING ONLY

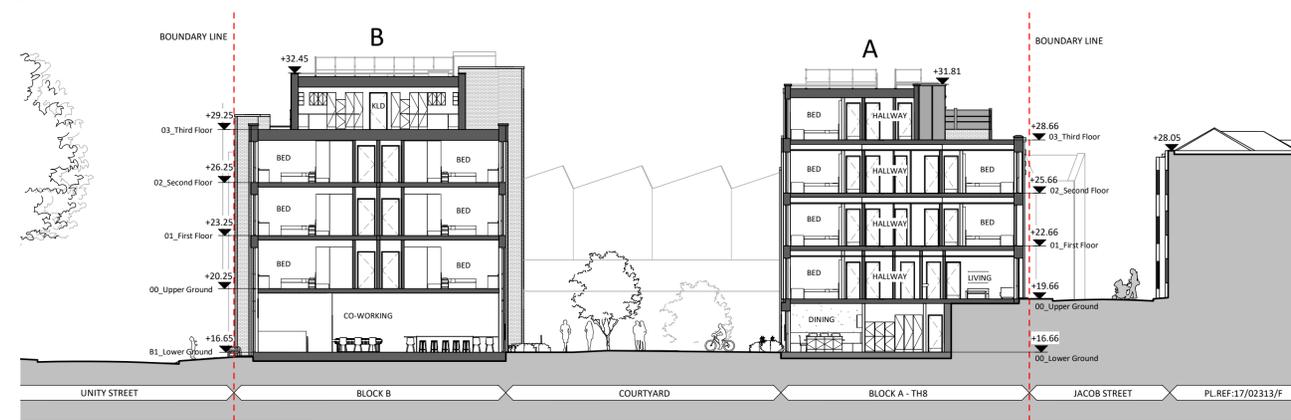
17.5m Loading Bay

Existing Bays Retained

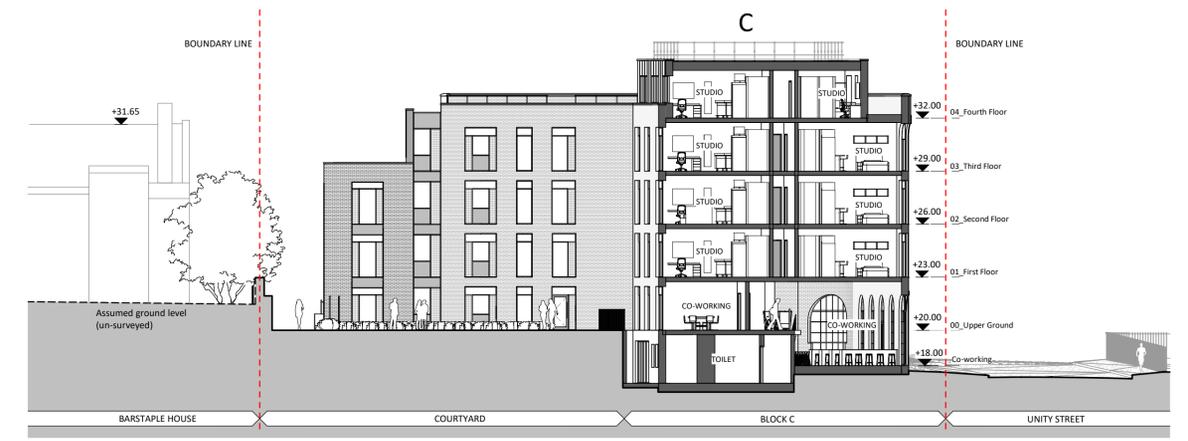
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All construction information should be taken from figured dimensions only.



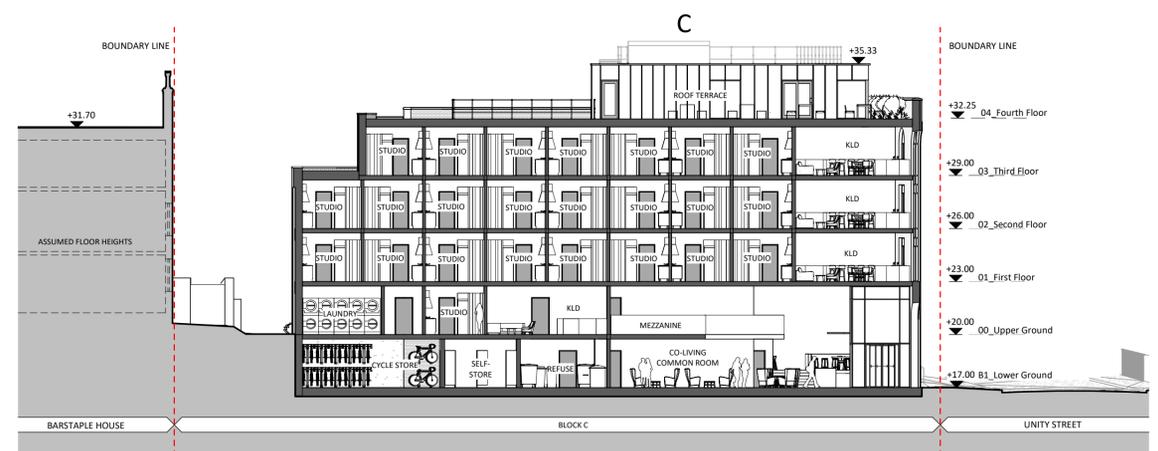
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1 : 200



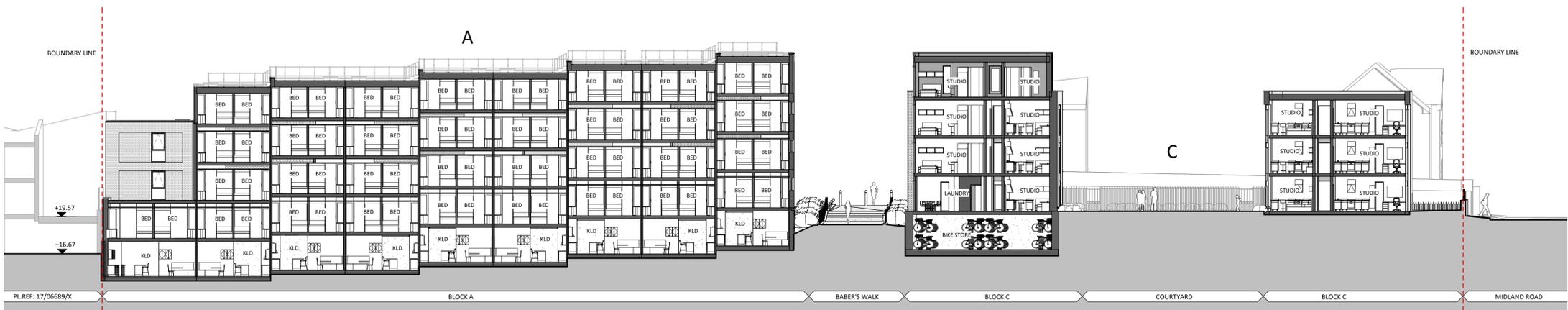
SK Section BB
1 : 200



SK Section EE
1 : 200



SK Section CC
1 : 200



SK Section DD
1 : 200

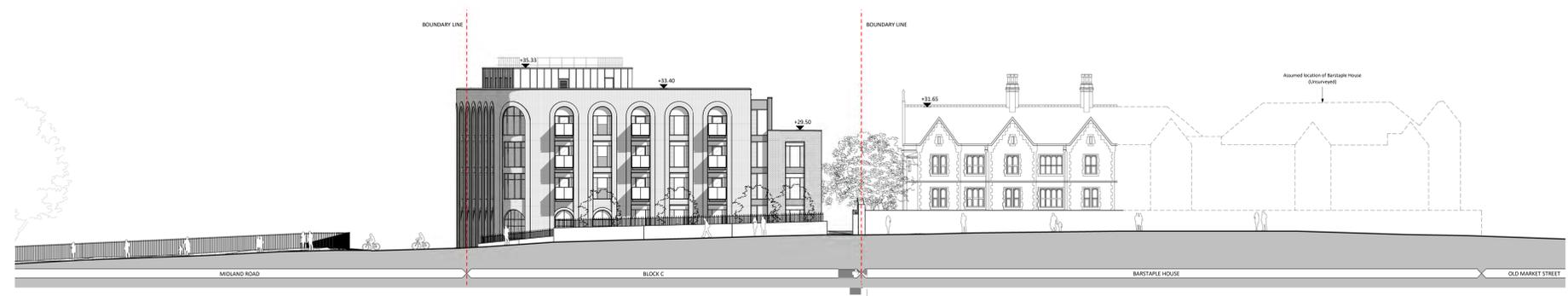
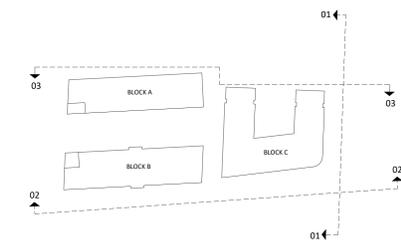
NOTES:
-For further site level information, refer to landscape drawings

PL	P42	29/11/2019	Planning Issue
PL	P30	24/09/2019	Planning Issue
PL	P20	22/03/2019	Planning Issue
STATUS	REV	DATE	DESCRIPTION
CLIENT			
Summix			REVISED BY Tom Eden
			CHECKED BY Kieran Lilley
			ORIGINATOR NO 151989

CONSULTANT
STRIDE TREGLOWN
www.stride-treglow.com
PROJECT
Unity Street
Bristol

DRAWING TITLE
Proposed Site Sections

SUITABILITY STATUS PL : PLANNING	SCALE As indicated @ A1
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASS NUMBER 151989-STL-XX-XX-DR-A-ZZZZ-03001	REVISION P42



Midland Road_Context Elevation 1
1:200



Unity Street_Context Elevation 2
1:200



Jacob Street_Context Elevation 3
1:200

NOTES:
-For further site level information, refer to landscape drawings

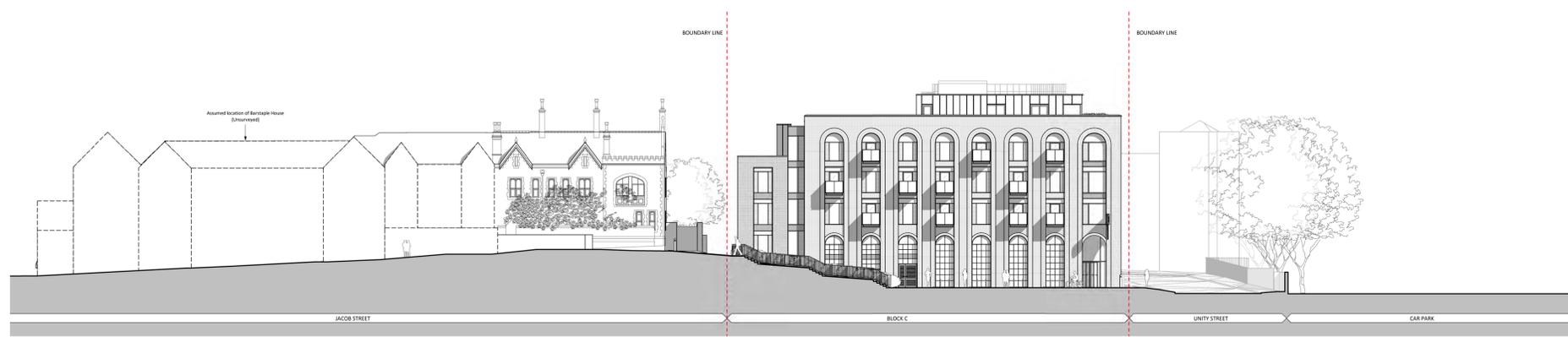
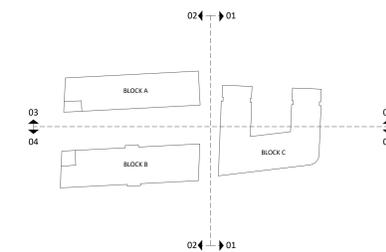
STATUS	REV	DATE	DESCRIPTION	REVISOR
PL	P42	29/12/2019	Planning Issue	TE
PL	P38	23/09/2019	Planning Issue	KL
PL	P33	20/08/2019	Planning Issue	KL
PL	P32	16/08/2019	Progress Issue for Comment	KL
PL	P29	23/03/2019	Planning Issue	KL
S2	P24	01/03/2019	Progress Issue	KL
S2	P23	27/02/2019	Model Issue	KL
S2	P21	14/02/2019	Progress Issue	KL
S2	P20	13/02/2019	Progress Issue	KL

CLIENT: **Summix**
 CHECKED BY: KL
 ORIGINATOR NO: 151989

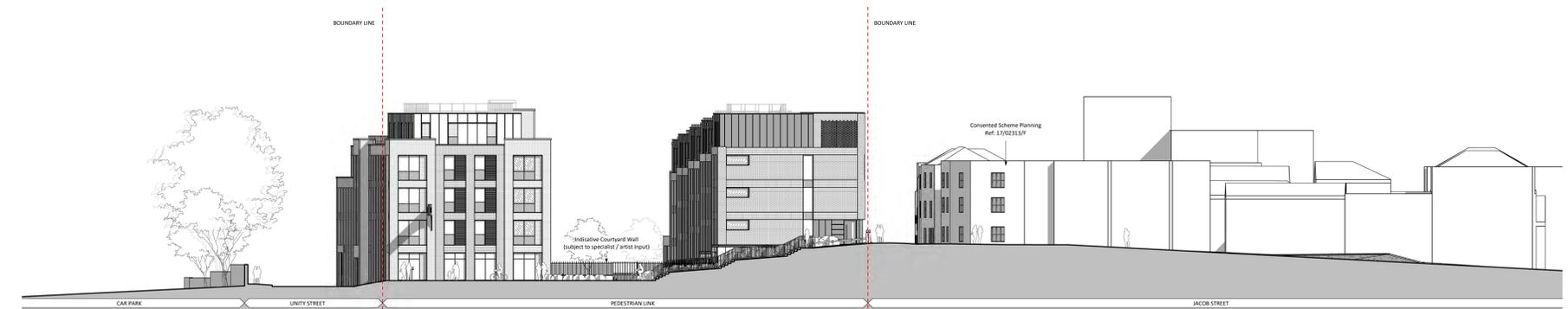
CONSULTANT: **STRIDE TREGLOWN**
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 PROJECT: **Unity Street Bristol**

DRAWING TITLE: **Site Context Elevations (Sheet 01)**

SUITABILITY STATUS	SCALE
PL : PLANNING	As indicated
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASS NUMBER	REVISION
151989-STL-XX-XX-DR-A-ZZZZ-02010	P42



Site Elevation 01
1:200



Site Elevation 02
1:200



Site Elevation 03
1:200



Site Elevation 04
1:200

NOTES:
-For further site level information, refer to landscape drawings

STATUS	REV	DATE	DESCRIPTION	REVISOR
PL	P42	29/12/2019	Planning Issue	TE
PL	P38	23/09/2019	Planning Issue	TE
PL	P33	20/08/2019	Planning Issue	KL
PL	P32	16/08/2019	Progress Issue for Comment	KL
PL	P29	22/03/2019	Planning Issue	KL
S2	P24	01/03/2019	Progress Issue	KL
S2	P23	27/02/2019	Model Issue	KL
S2	P21	14/02/2019	Progress Issue	KL

CLIENT: Summix
CHECKED BY: KL
ORIGINATOR NO: 151989

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PROJECT
Unity Street
Bristol

DRAWING TITLE
Site Context Elevations (Sheet 02)

SUITABILITY STATUS	SCALE
PL : PLANNING	As indicated @ AO
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASS NUMBER	REVISION
151989-STL-XX-XX-DR-A-ZZZZ-02011	P42

- KEY**
- Site boundary
 - Proposed hard surfaces
 - Pedestrian bitmac
 - Block Paving (Silver grey)
 - Yorkstone Slab Paving
 - Granite setts (Flamed finish)
 - Planted paving with Dichondra repens (Hardscape 'Green pavers' or similar)
 - Decking (Millboard or similar)
 - Yorkstone steps
 - Hazard warning corduroy to top/bottom of steps
 - Conservation kerb 145mm width, silver grey, to form cycle ramp to edge of steps
 - Granite sett feature banding in paving
 - Low raised bed
 - Proposed planting
 - Tree
 - Specimen shrub
 - Ornamental planting (Shrubs, groundcover and herbaceous)
 - Clipped Hedge (500mm height in Block C courtyard, 900mm height in central courtyard)
 - Rain Garden/SUDS planting
 - Shade tolerant wildflower meadow
 - Shade tolerant species rich lawn
 - Climbers
 - Proposed features
 - Handrail to steps
 - Secure barrier including gates, with sculptural metalwork (subject to specialist / artistic input)
 - New retaining wall to replace existing in adjusted position closer to boundary. To engineer's details. Faced with sandstone to appear as historic 'tubble' wall
 - Existing stone retaining wall, retained in-situ at full height (1300mm), with 500mm high railings (black) to top
 - Existing stone retaining wall, retained in-situ / reduced in height to 600mm, with 700mm railing (black) to top
 - Sheffield Cycle Stand
 - Green Roof Cycle Store (supplied by Green Roof Shelters Ltd. (or similar))
 - Individual timber bin-store (indicative)
 - Proprietary tree grille in paving
 - Bench
 - Sandstone 'tubble' wall, 500mm high, topped with hardwood timber slats as continuous seat
 - Proposed 4th Floor Terrace
 - Bed at paving level planted with small low growing species
 - Raised bed with ornamental shrub & groundcover planting
 - Raised bed for food production with topsoil only
 - Pedestal slab paving system
 - Timber built in seating



0m 5m 10m north

- All dimensions in millimetres unless otherwise indicated. All levels in metres relative to Ordnance Datum and are positive (AOD) unless otherwise indicated.
- Figure dimensions only to be taken from this drawing, do not scale. Dimensions to be checked on site.
- For civil and structural matters including existing and proposed services, sub-base construction and site structures (including retaining walls over 900mm height) refer to information by others.
- The original version of this drawing was produced in colour. Monochrome copies should not be relied upon to accurately reflect all drawing elements.
- This drawing has been prepared for planning purposes only and should not be used for quantification, tender or construction.

P13	29.11.19	MH	-	Clarifications - change to FFL in Block B plant room
P12	28.11.19	PS	MH	Revised building footprint & landscape
P11	23.09.19	MH	-	Height of central courtyard hedge reduced to 900mm
P10	19.09.19	PS	MH	4th floor roof terrace added
P09	18.09.19	MH	-	Retaining wall added to west of central courtyard
P08	18.09.19	PS	MH	Revised building layout to Block C, door positions revised to Block B, courtyard layout & path revised, existing wall note revised and new step replaces end of wall.
P07	11.09.19	PS	MH	Revised building footprint & landscape
P06	28.03.19	MH	LF	Change to pavement in Highways Land (Unity Street)
P05	22.03.19	MH	LF	Existing retaining wall adjacent to Block C retained in-situ
P04	20.03.19	MH	-	Granite sett edge added around Blocks A and B
P03	20.03.19	NW	MH	Second issue (developed design)
P02	14.03.19	NW	MH	Updated re-revised architects layout
P01	09.03.19	NW	MH	First issue (concept design)
rev.	date	by	notes	
		cm		

project Unity Street, Bristol
 title Landscape Proposals
 status Planning scale @ A1 1:200
 dwg no 1999-TF-00-00-DR-L-1001
 references Shro Trugown drawings 151989-STL-XX-01-DR-A-ZZZZ-01010-P35 and 151989-STL-XX-01-DR-A-ZZZZ-01011-P35

terrafirma
 LANDSCAPE ARCHITECTS
 Suite B, 100th House, Bedford Road, Bristol, Bristol, UK. Tel: +44 (0)1173 262 540
 Email: info@terrafirmalandscape.com Website: www.terrafirmalandscape.com © Copyright reserved 2019

Development Control Committee B – 18 December 2019

ITEM NO. 3

WARD: Southmead

SITE ADDRESS: 26 Cranham Road Bristol BS10 5EF

APPLICATION NO: 19/05160/H Full Planning (Householders)

DETERMINATION DEADLINE: 17 December 2019

Erection of single storey side and rear extension, and erection of small porch to front elevation.

RECOMMENDATION: Grant subject to Condition(s)

AGENT: Clifton Design (Bristol) Ltd
25 Lower Redland Road
Redland
Bristol
BS6 6TB

APPLICANT: Dr Jonathan Olds
Flat 6
27 Sion Court
Clifton
Bristol
Bristol
BS8 4AZ
United Kingdom

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee B – 18 December 2019
Application No. 19/05160/H : 26 Cranham Road Bristol BS10 5EF

SITE DESCRIPTION

This application relates to the dwelling known as 26 Cranham Road in Southmead, North Bristol.

The application site is situated upon the north eastern side of Cranham Road, approximately 30 metres south east of the junction connecting to Lake Road.

The application site comprises a two-storey end of terrace dwelling with an attached side garage structure. The dwelling exhibits a material palette comprising white render walls, interlocking roof tiles and white UPVC windows.

The site benefits from a paved off-street parking arrangement to the front of the property and modest rear curtilage.

The application site is not situated within a Conservation Area.

APPLICATION

This application seeks full planning permission for the erection of a single storey side and rear extension to the existing dwelling and construction of a front porch structure.

The application would comprise a front porch structure measuring 1.3 metres in depth from the front elevation and 2.3 metres in width, constituting an internal floor area of 2.99 metres squared. The front porch structure would measure 2.4 metres to the eaves and 3.5 metres to the ridge.

The proposed rear extension would measure 3.0 metres in depth from the rear extension. The proposed development would provide a contiguous rear and side extension, resulting in a width of 6.3 metres to the existing side elevation and 8.3 metres to the proposed side elevation of the extension. The proposed rear extension would measure 2.6 metres to the eaves and 3.6 metres to the ridge.

The proposed side extension would measure 2.1 metres in width and 4.8 metres in depth from the rear elevation of the existing garage structure. The proposed side extension would measure 2.6 metres and 3.7 metres to the eaves and ridge respectively, approximately 1 metre away from the existing boundary fence.

At the rear elevation, the proposed development would provide bi-folding doors and 1no. three-part window, as well as 3no. roof lights to the rear roof pitch. The proposed side elevation would exhibit 1no. obscure-glazed window to the proposed ground floor toilet and 1no. roof light to the existing garage roof.

The application seeks to use materials including render walls, interlocking roof tiles and UPVC windows and doors. The proposed front extension would use rendered blocks with timber detailing.

For further details, please see documentation appurtenant to the application.

RELEVANT HISTORY

There is no relevant or recent planning history associated with the application site.

Development Control Committee B – 18 December 2019
Application No. 19/05160/H : 26 Cranham Road Bristol BS10 5EF

RESPONSE TO PUBLICITY AND CONSULTATION

In total, 1no. neutral comment was received by the Local Planning Authority. An objection was not raised in regard to the application providing works would be carried out in a respectful manner to the neighbour and their associated property.

WARD MEMBERS

There were no comments raised by Ward Members.

RELEVANT POLICIES

National Planning Policy Framework – July 2018

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES

A. IS THE DESIGN AND SCALE/CONTEXT ACCEPTABLE?

Policy BCS21 states that new development should be of a high quality and should contribute positively to an area's character and identity.

Policy DM26 sets out that development should respond appropriately to the height, scale, massing, shape, form and proportion of existing buildings, building lines and set-backs from the street, skylines and roofscapes; and respecting, building upon or restoring the local pattern and grain of development.

Policy DM27 states that developments should respect the layout, form, pattern and arrangement of buildings, structures and spaces to contribute quality urban design.

Policy DM30 sets out that new development will be expected to respect the siting, scale, form, proportions, materials, details and the overall design and character of the host building, its curtilage and the broader street scene.

SPD2 'A Guide for Designing House Alterations and Extensions' states that proposed extensions should not protrude further than 3.5 metres and should maintain visual subservience to the existing dwelling.

SPD2 'A Guide for Designing House Alterations and Extensions' states that front porch extensions should be modest in scale and should make a positive contribution to improving the character and appearance of the area.

The proposed development, as described in the application, would be of an appropriate scale, height and siting as to respect the overall design of the host dwelling. By virtue of the developments limited protrusion from the existing rear elevation, it is considered that the side and rear extension would not undermine the rear building line of dwellings fronting Cranham Road. It is acknowledged that rear extension would measure 3 metres in depth and therefore would be permissible under Part 1 Class A of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended). The proposed side extension would run flush to the proposed rear extension and is

Development Control Committee B – 18 December 2019
Application No. 19/05160/H : 26 Cranham Road Bristol BS10 5EF

therefore considered to be in keeping and demonstrates high quality design. It is considered that the proposed development accords with policies BCS21, DM26, DM27, DM30 and SPD2 guidance and is acceptable.

The proposed front extension, as described in the application, would be of a limited scale (1.3 metres depth and 2.3 metres width) and constitutes a floor area of 2.99 square metres in area. The proposed development is considered to be modest addition to the host dwelling and is in keeping with other developments within the immediate context of the application site. It is considered that the precedent for front extensions is well-established within the area and is therefore acceptable. The proposed works would not undermine the built form or architecture of the host dwelling and is therefore in accordance with policies BCS21, DM26, DM27, DM30 and SPD2 guidance and is acceptable.

The majority of the proposed development (rear and side extensions) would be sited to the rear of the host dwelling and would not be visible from the public realm. As such, it is considered that the proposed development would have an inconsequential impact on the character and setting of Cranham Road or the aesthetic of the dwelling. The proposed development would remain visually subservient to the host dwelling and would not constitute a net additional floor space which would undermine the existing properties built form. The proposed development therefore accords with policies BCS21, DM26, DM27, DM30 and SPD2 guidance and is acceptable.

While the proposed front porch extension would be visible from the public realm, it is considered that the development would be modest in scale and would be in keeping with the built form of the host dwelling. The proposed dimensions (1.3 metres depth and 2.3 metres width) would equate to an additional floor area of 2.99 square metres, considered to be permissible under permitted development rights. As such, the proposed development accords with policies BCS21, DM26, DM27, DM30 and SPD2 guidance and is acceptable.

The proposed development seeks to use materials including: render walls, interlocking roof tiles and UPVC windows and doors. The proposed front extension would use rendered blocks with timber detailing. It is considered that the proposed materials are consistent with the existing dwelling and would not undermine the aesthetic or aesthetic of Cranham Road. As such, the proposed development is in accordance with policies BCS21, DM26, DM27 and DM30 and is therefore acceptable.

The proposed development is acceptable in terms of design.

B. WOULD THE PROPOSED DEVELOPMENT CAUSE ANY UNACCEPTABLE HARM TO RESIDENTIAL AMENITY OF FUTURE OR ADJACENT OCCUPIERS?

Policy BCS21 states that new development should safeguard the amenity of existing development.

Policy DM30 states that proposals should not prejudice the existing and future development potential of adjoining sites.

SPD2 'A Guide for Designing House Alterations and Extensions' states that rear extensions should not cross a 45° line drawn from the extension to the mid-point of the nearest adjacent habitable window perpendicular to the proposed development as to not cause overlooking, overbearing or overshadowing on adjacent occupiers.

Development Control Committee B – 18 December 2019
Application No. 19/05160/H : 26 Cranham Road Bristol BS10 5EF

The proposed development would not cross a 45° line drawn from the extension to the mid-point of the nearest adjacent habitable window perpendicular to the proposed development and would therefore not give rise to an unacceptable degree of overshadowing. As stated in the application, the proposed side extension would be sited 1 metre from the adjacent and would therefore not result in an unacceptable sense of overshadowing or overbearing upon the adjacent neighbours. It is considered that the proposed development is in accordance with policies BCS21, DM30 and SPD2 guidance and is acceptable.

The proposed development would be single storey in height and would not overlook any adjacent neighbours. A high elevation obscure-glazed window would be provided upon the side elevation of the development and would not result in an unacceptable degree of overlooking or loss of privacy to adjacent or future residential occupants. It is considered that the proposed development would not give rise to any unacceptable residential amenity impacts and is in accordance with policies BCS21, DM30 and SPD2 guidance.

The proposed development is acceptable in terms of residential amenity.

CONCLUSION

Based upon the information provided to the Local Planning Authority, it is considered that the proposed development is acceptable in terms of design and residential amenity impacts. As such, this application is recommended for approval, subject to conditions.

COMMUNITY INFRASTRUCTURE LEVY

How much Community Infrastructure Levy (CIL) will this development be required to pay?

Development of less than 100 square metres of new build that does not result in the creation of a new dwelling; development of buildings that people do not normally go into, and conversions of buildings in lawful use, are exempt from CIL. This application falls into one of these categories and therefore no CIL is payable.

RECOMMENDED GRANT Subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by section 51 of the Planning and Compulsory Purchase Act 2004.

List of approved plans and drawings

2. List of Approved Plans and Drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision:

Development Control Committee B – 18 December 2019
Application No. 19/05160/H : 26 Cranham Road Bristol BS10 5EF

26/CR/WOT/00/P	Site location plan, received 22 October 2019
26/CR/WOT/10/P	Existing block plan, received 22 October 2019
26/CR/WOT/11/P	Proposed block plan, received 22 October 2019
26/CR/WOT/01/P	Existing ground floor plan, received 22 October 2019
26/CR/WOT/02/P	Proposed ground floor plan, received 22 October 2019
26/CR/WOT/03/P	Existing rear elevation, received 22 October 2019
26/CR/WOT/04/P	Proposed rear elevation, received 22 October 2019
26/CR/WOT/05/P	Existing side elevations on A, received 22 October 2019
26/CR/WOT/06/P	Proposed side elevations on A, received 22 October 2019
26/CR/WOT/07/P	Side elevations on B, received 22 October 2019
26/CR/WOT/08/P	Proposed front elevation, received 22 October 2019
26/CR/WOT/09/P	Proposed front elevation, received 22 October 2019

Reason: For the avoidance of doubt.

Supporting Documents

3. 26 Cranham Road

1. Location Plan
2. Existing Block Plan
3. Existing Ground Floor Plan
4. Existing Front Elevation
5. Existing Side Elevation
6. Existing Rear Elevation
7. Proposed Block Plan
8. Proposed Ground Floor Plan
9. Proposed Front Elevation
10. Proposed Side Elevation
11. Proposed Rear Elevation
12. Side Elevations on B
13. Supporting Statement

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Page 135



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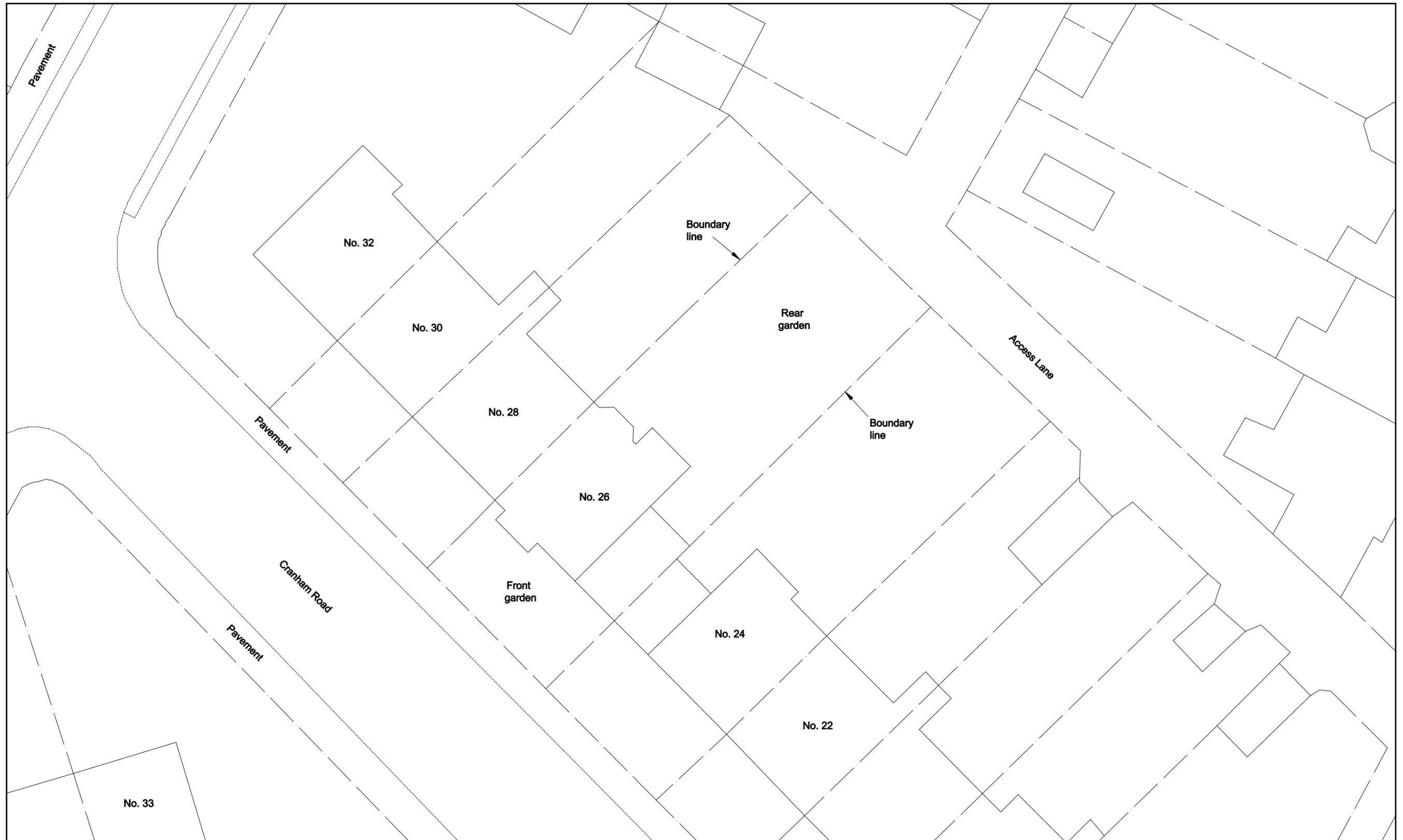
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Date: Oct 2019	Drawing No: 26/CR/WOT/00/P
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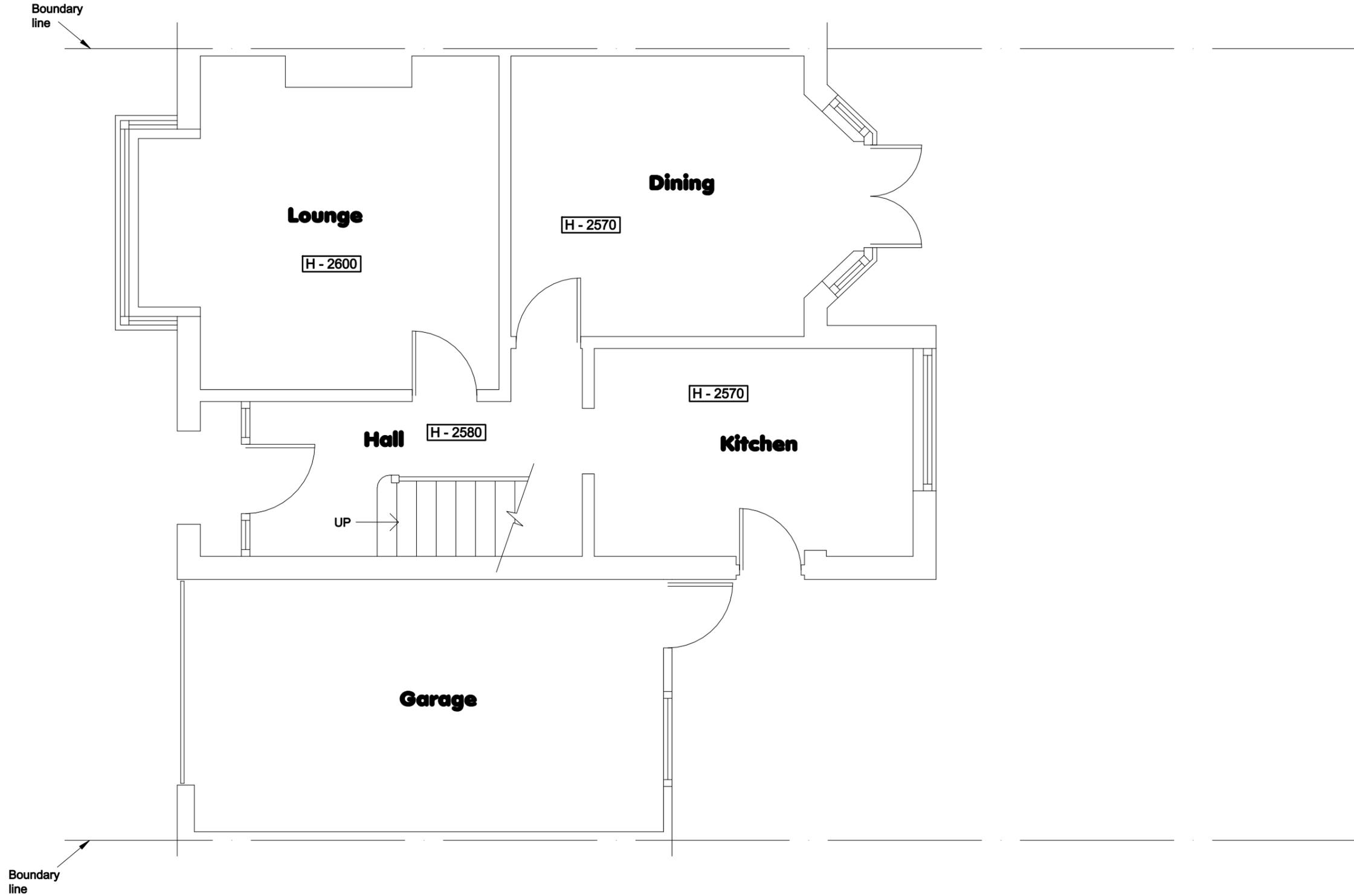
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Page 136

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Page 137

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Page 138



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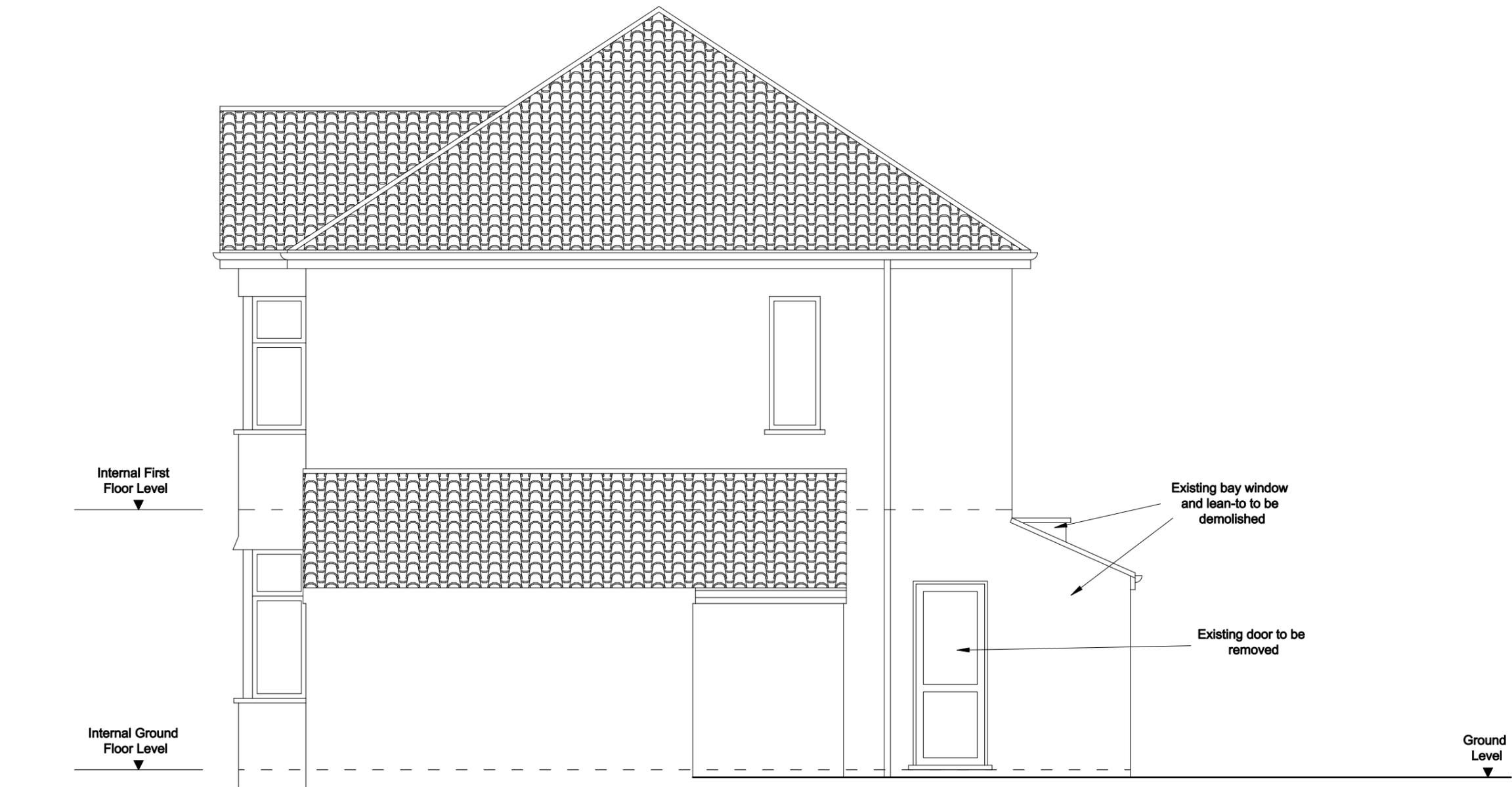
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Dr J Olds

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Drawn: D.H	Option: -	Rev: -	

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Page 139

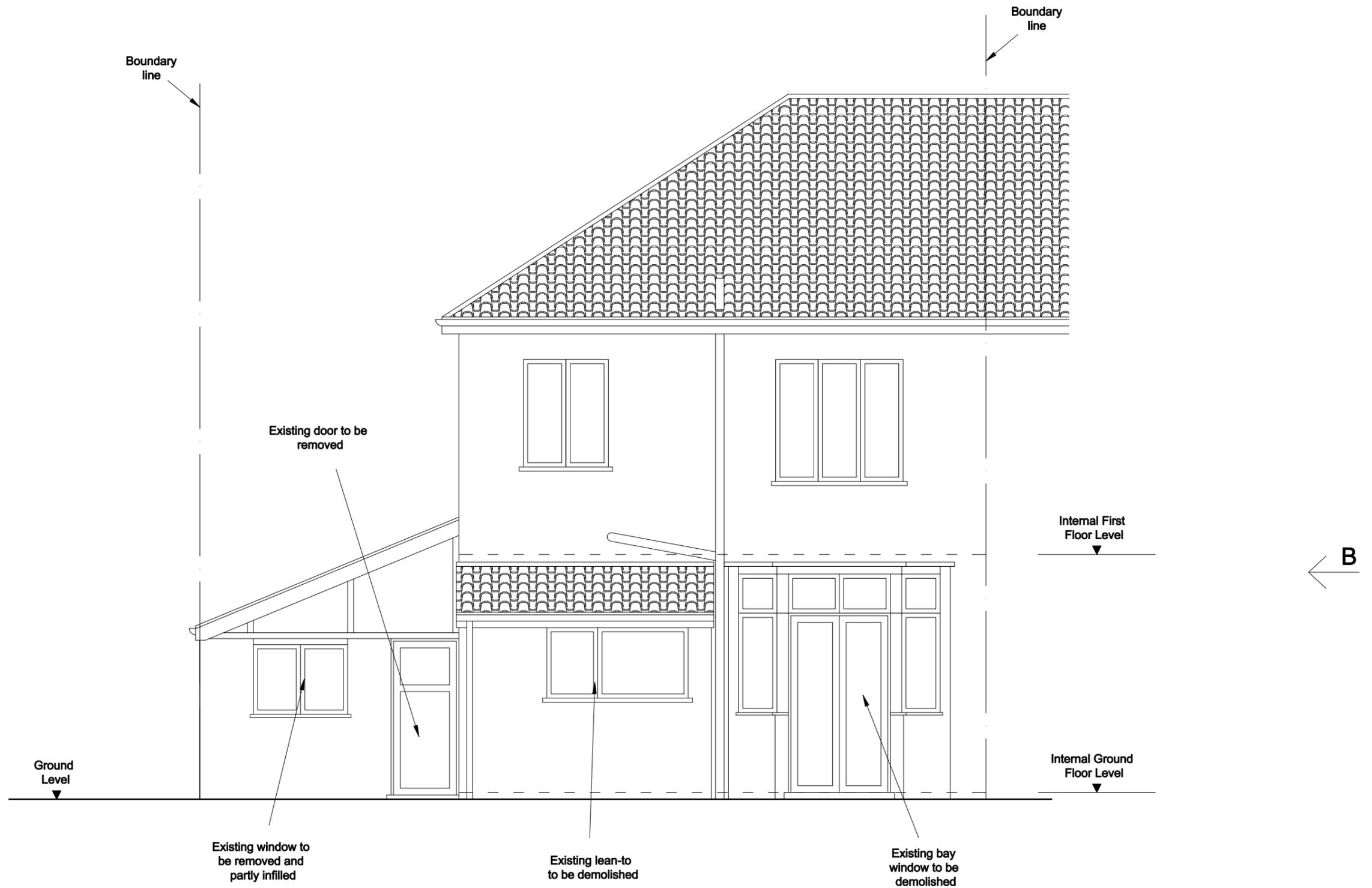


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Page 140

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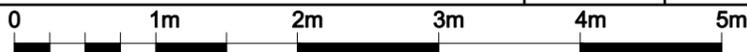
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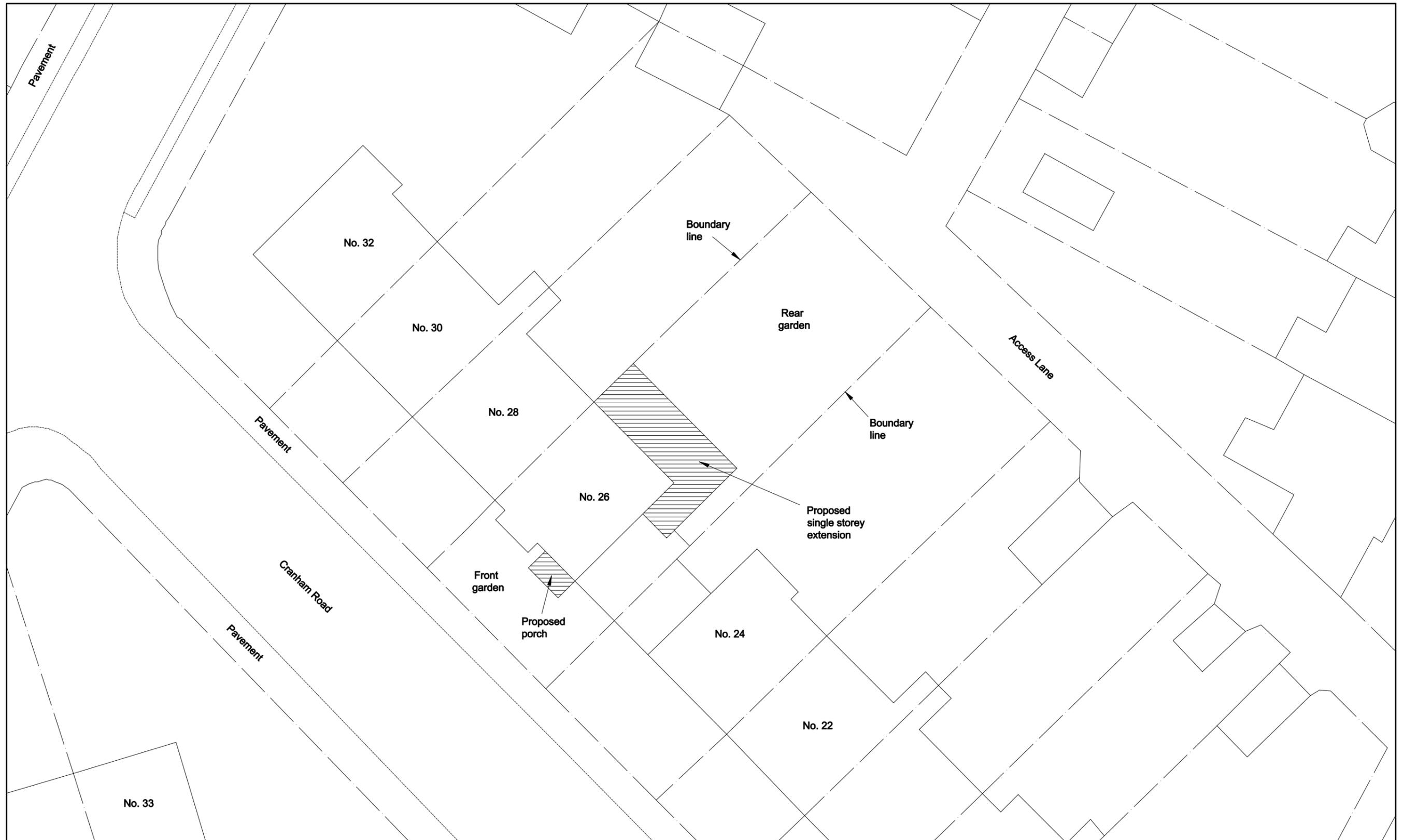
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Page 141

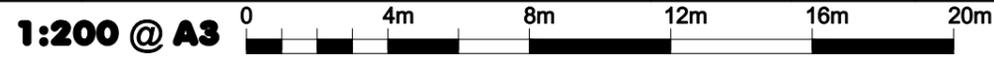
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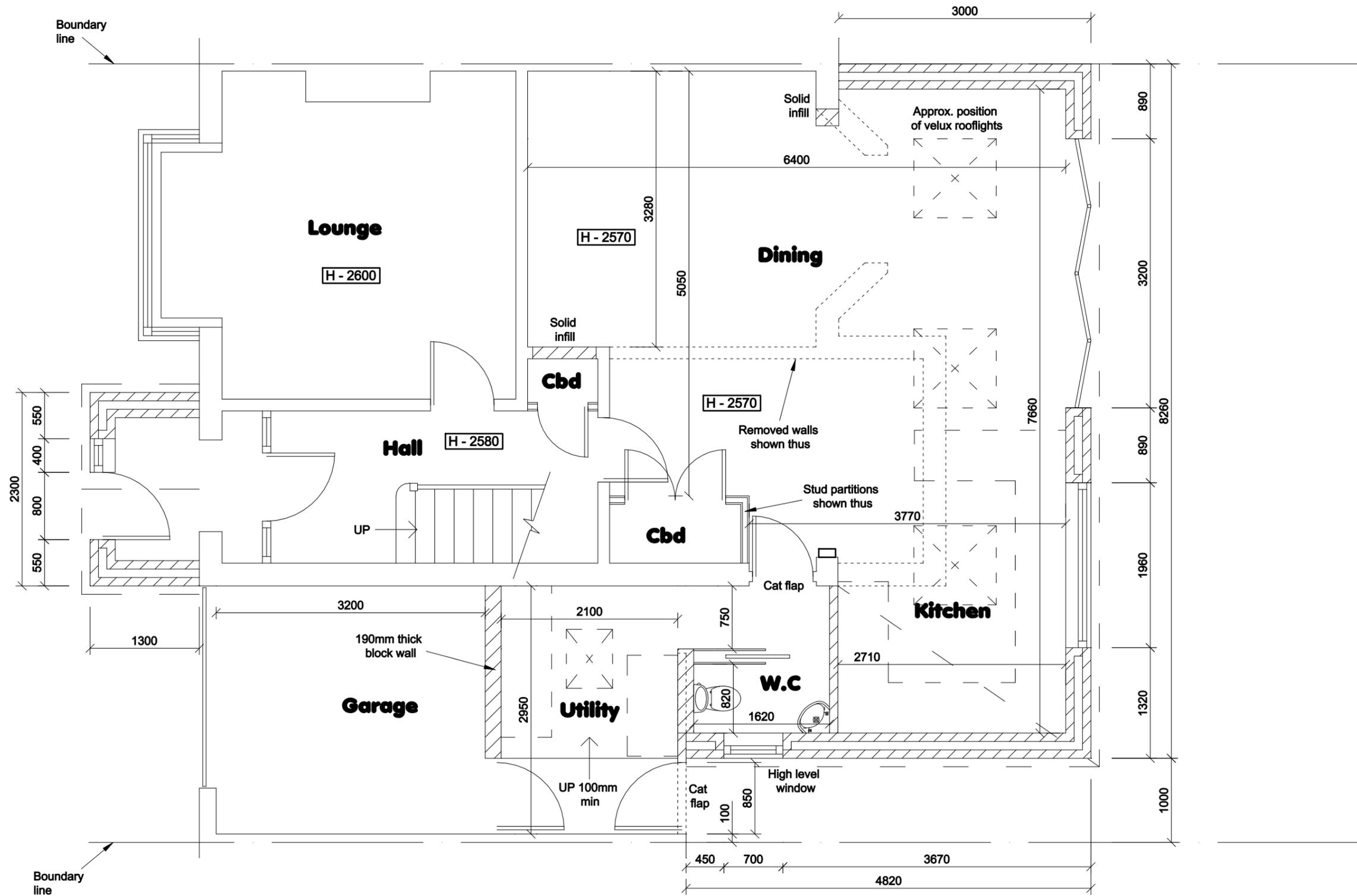
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26 Cranham Road, W.O.T

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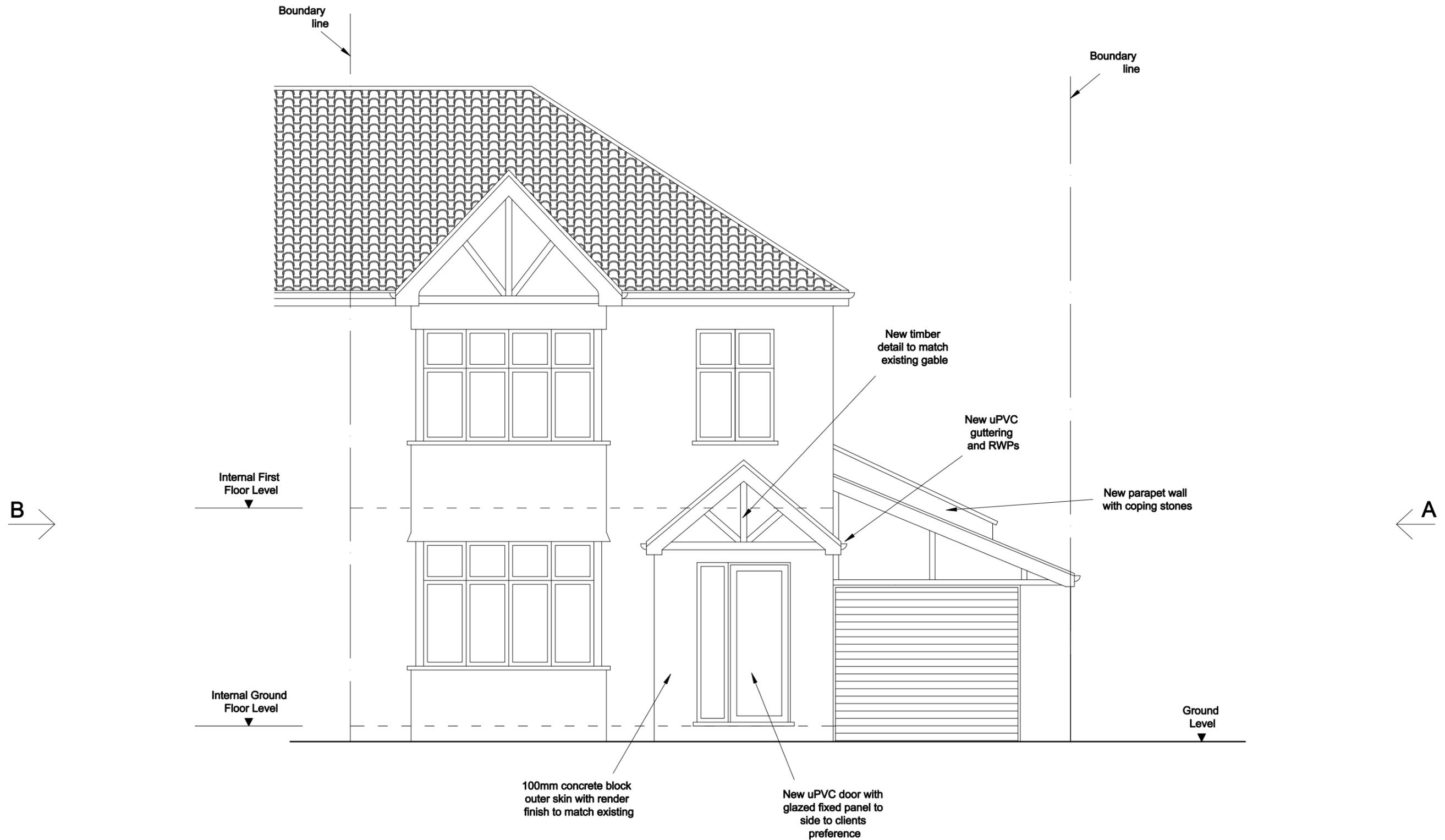
Page 142



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Page 143



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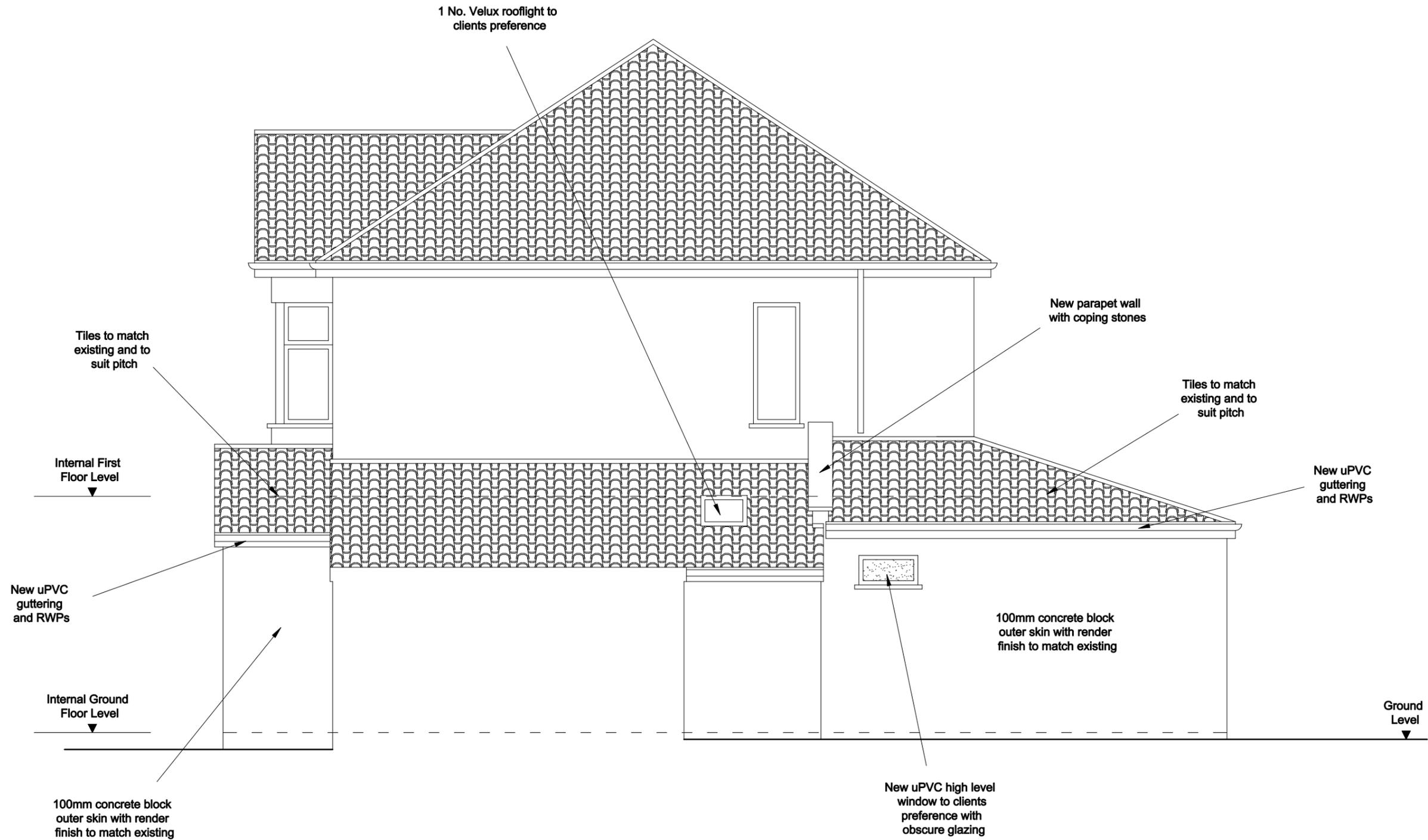
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Page 144



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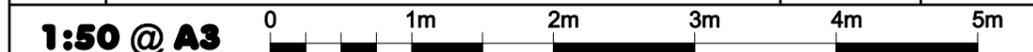
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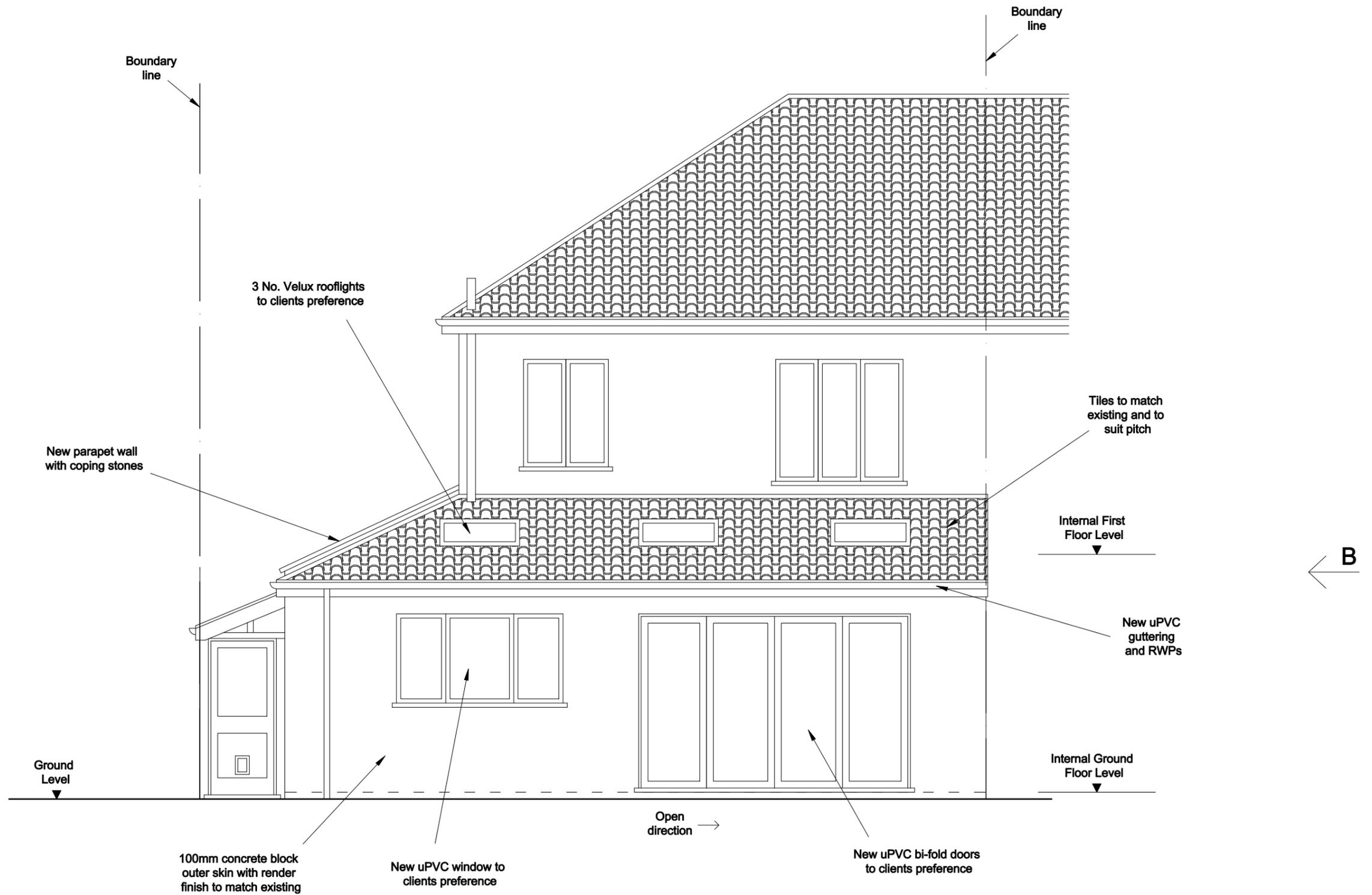
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Page 145

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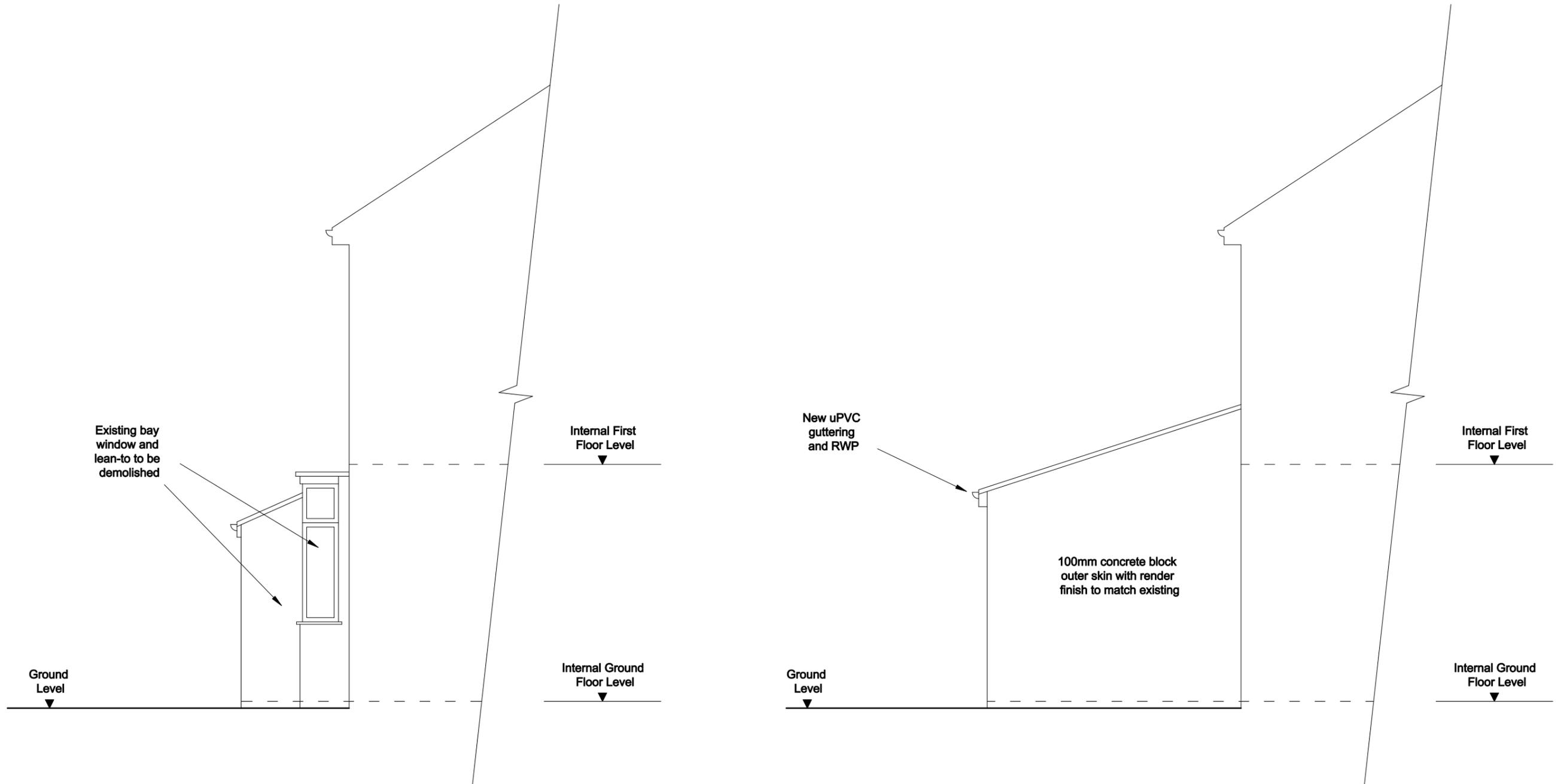
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Page 146



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Postcode:
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Date:
Oct 2019

Drawing Title:
Side Elevations on B

Drawing No: **26/CR/WOT/07/P**

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Planning Statement for 26 Cranham Road, Bristol BS10 5EF



Proposal: Single storey side and rear extension and small porch to the front of the house.

1. INTRODUCTION



26 Cranham Road is a 1930s end of terrace property with an attached original single storey garage to the side. There is no planning history to the property since its construction.

2. CONTEXT

The property sits at the end of a four-house terrace. It has an original garage attached to the side of the house. The garage attaches to a mirrored garage and terrace further along the street.

There is a level change between the terraces, the neighbouring property at No. 24 Cranham Road has an internal floor level approximately 0.5 metres higher than the application site.

Gables with timber crow-foot detailing and half gables with timber beams are a distinctive feature within the immediate area. Please see section four for examples.



3. DESIGN PROPOSAL

The property is rough rendered and painted white with UPVC windows to the front and rear.

The proposal is for a side and rear ‘wraparound’ extension extending from the rear of the existing garage, wrapping around the rear of the property to a depth of 3 metres.

The proposed doors, windows and roof tiles will match the existing materials of the property.

The only element that would not be covered by permitted development is the connection between the side and rear elements (shown in yellow).

The extension would not cross the 45-degree vertical or horizontal lines from the centre of the French doors/ windows to the rear of No. 24 Cranham Road and would thus be compliant with SPD2.

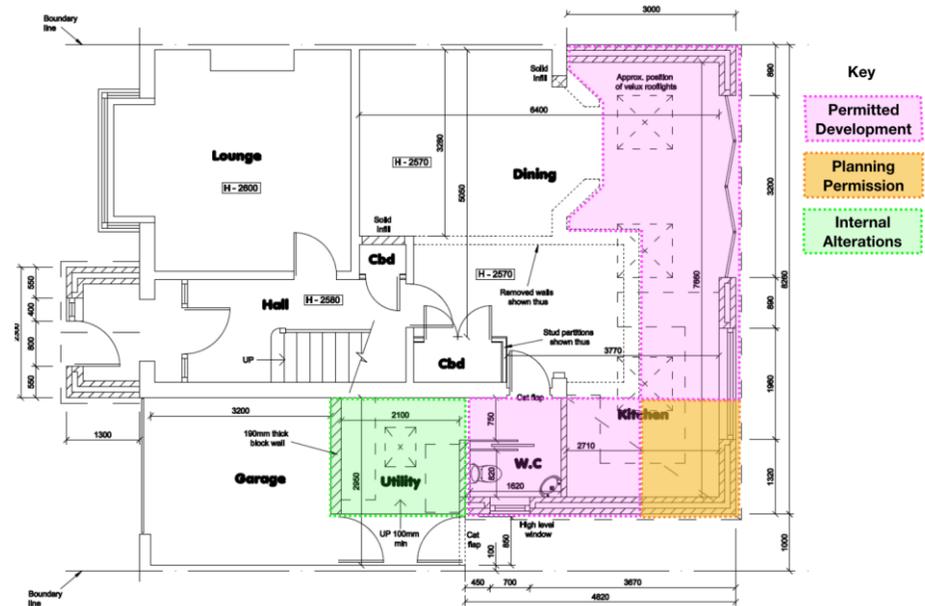
3.1 SINGLE STOREY SIDE AND REAR EXTENSION

The maximum height of the extension and the height of the eaves meet the criteria for permitted development.

The proposed depth of the rear extension is 3 metres from the principal rear elevation of the host property and the existing original annex will be demolished.

The majority of the side element is also within permitted development rights.

Elements marked in pink would be permitted development.



3.2 PORCH

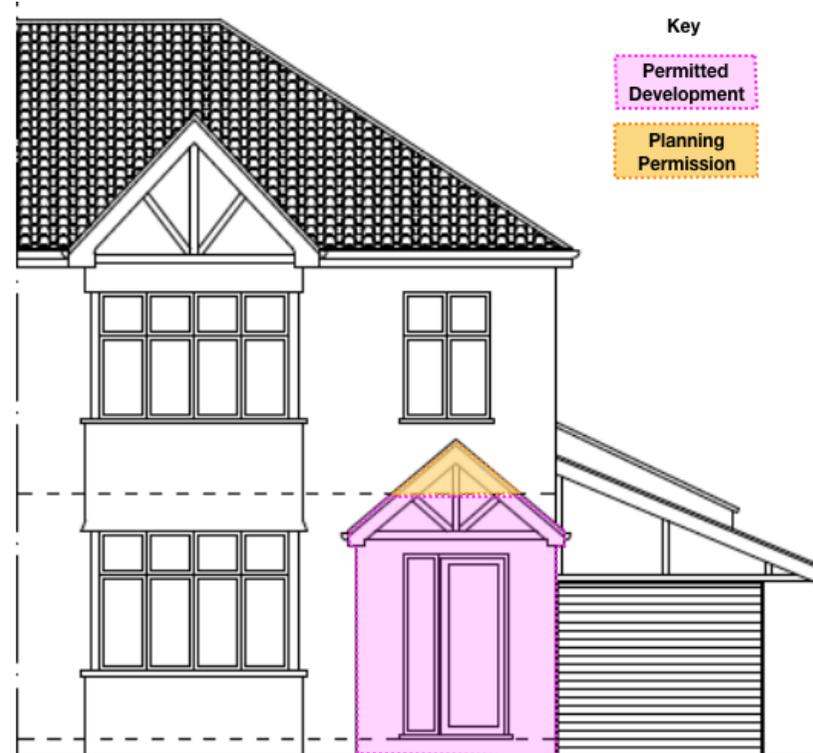
The proposed footprint of the porch is less than 3 square metres and is thus within the size of permitted development.

The design approach aims to mirror the small front gable of the host property and terrace style with the 'crow-foot' timber beams incorporated into the design.

In order to achieve this and meet building regulations for ceiling height, the height of the porch is 3.5 metres at the roof ridge falling to an eaves height of 2.4 metres.

There will be no harm to the amenity of the host or neighbouring properties. A flat roof or mono-pitched roof that meets the 3m height allowed under permitted development would result in a poor quality design that would harm the appearance of the host property and terrace in which it sits.

There are several porches of a similar design in the immediate vicinity, including along Cranham Road, Lake Road, Charis Avenue and Devlin Road.



4. LOCAL CONTEXT

Examples and locations of similar porches and timber-detailed gables in the immediate vicinity of the application site.

